

## 2.0 PROJECT DESCRIPTION

---

### **PURPOSE**

*The purpose of this project description is to describe the proposed project in a manner that will be meaningful to the public, reviewing agencies and decision makers. State California Environmental Quality Act (CEQA) Guidelines, Section 15124, requires that a complete project description contain the following information: (1) a detailed map showing the precise location and boundaries of the proposed project and a regional map showing the location of the project; (2) a statement of objectives sought by the proposed project, which should include the underlying purpose of the project; (3) a general description of the project's technical, economic, and environmental characteristics; and (4) a statement briefly describing the intended uses of the EIR, including a list of the agencies that are expected to use the EIR in their decision-making, a list of permits and other approvals required to implement the project, and a list of related environmental review and consultation requirements required by federal, state, and local laws, regulations or policies. An adequate project description need not be exhaustive, but should supply the detail necessary for project evaluation.*

### **LEAD AGENCY**

City of Santa Clarita  
23920 Valencia Boulevard, Suite 300  
Santa Clarita, California 91355  
Contact: Mr. James Chow, Associate Planner, Community Development Department  
Telephone: (661) 255-4330  
FAX: (661) 259-8125  
E-Mail: jchow@santa-clarita.com

### **RESPONSIBLE AGENCIES**

Under CEQA, a public agency, other than a lead agency, that has discretionary approval power over the proposed project is considered a "responsible agency" (*State CEQA Guidelines*, Section 15381). No public agency, other than the City of Santa Clarita, has discretionary approval power over the proposed project; however, if the City approves this project, subsequent implementation of various project components could require discretionary approval authority from responsible agencies including, among others,

- Los Angeles Local Agency Formation Commission;
- California Department of Fish and Game;
- Los Angeles County Fire Department;
- Army Corps of Engineers;

- Los Angeles County Flood Control District;
- Metropolitan Water District of Southern California; and
- Newhall County Water District

This section is not intended to provide a complete and final listing of all subsequent discretionary actions or approvals that are needed, or may be needed, to implement the proposed project. This section is intended only to identify the responsible agencies, which may have subsequent discretionary approval authority over implementation of various project components in the future.

## **PROJECT APPLICANT**

The Master's College  
21726 Placerita Canyon Road  
Santa Clarita, California 91321  
Contact: Robert L. Hotton, Vice President for Operations  
Telephone: (661) 259-3540

## **PROJECT SUMMARY**

The proposed project includes the following four distinct components:

- The Master's College Master Plan.
- Extension of Dockweiler Drive from its current terminus near Valle Del Oro, through The Master's College property south of the main campus, to the western boundary of The Master's College property. The western terminus of Deputy Jake Drive would then be extended and connected to the Dockweiler extension.
- A Tentative Tract Map (TTM) to allow for the future development of 54 condominium units north of the proposed Deputy Jake Drive extension on 4.7 acres, open space parcels, and portions of the Dockweiler and Deputy Jake Drive extensions. In addition, this component includes a 2.48-acre area that is proposed to be graded for future replacement of the existing 0.75-million-gallon water tank with a 5.0-million-gallon, 32-foot-tall, 132-foot-diameter water tank.
- The dedication of 20.5 acres of open space within The Master's College property south of the proposed Deputy Jake extension, including the 5-acre improved Creekview Park, to the City of Santa Clarita for future parkland/open space purposes.

A detailed description of each of the four project components is provided under the Technical, Economic, and Environmental Characteristics discussion below.

The project applicant is requesting approval of Master Case 04-496, which includes The Master's College Master Plan 07-001, General Plan Amendment 04-009, Zone Change 04-006, TTM 66503, Conditional Use



Permit 04-031, Ridgeline Alteration Permit 07-001, Hillside Review Permit 04-010 and Oak Tree Permit 04-050 These project approvals and entitlements are collectively referred to as “the project” and are discussed in detail later in this section and in **Section 5.6, Land Use and Planning**. Additional actions, such as grading and building plan review, would be required by the City to permit grading and construction activities on the site.

## PROJECT LOCATION

The project site includes the 94.96-acre property owned by The Master’s College; 7.02 and 0.61 acres to the east and west of The Master’s College property, respectively, and 2.58 acres within a larger parcel owned by MWD that bisects the project site, which will accommodate the proposed Dockweiler Drive extension; and a 2.48-acre site to the east of The Master’s College property where 0.75- and 3.0-million-gallon water tanks are located. **Figure 2.0-1, Regional Location**, illustrates the project site location within a regional context. **Figure 2.0-2, Vicinity Map**, shows that the project site is located within the City of Santa Clarita, east of State Route 126 (SR-126) and west of State Route 14 (SR-14), approximately 3.5 miles north of the SR-14 and Interstate 5 (I-5) interchange. As shown in **Figure 2.0-2**, the communities of Stevenson Ranch and Valencia are west and northwest of the project site, respectively. The Santa Clara River is approximately 2.5 miles north of the project site and the communities of Canyon Country and Sand Canyon are located to the east.

**Figure 2.0-3, Project Site Boundary/Environmental Setting**, depicts the project site boundary in relation to surrounding land uses. As shown, a 12.6-acre swath of land owned by the Metropolitan Water District (MWD) runs through the site. The 94.96 acres owned by The Master’s College exist to the north and south of the 12.6 acres owned by MWD. The northern portion of the project site is surrounded by the Placerita Canyon community to the north, east, and west. The Placerita Canyon community is primarily composed of single-family residences, a mobile home park, movie studio, and schools. Open space and the Deputy Jake neighborhood also exist immediately to the east of The Master’s College property with multi-family residences surrounding the current western terminus of Dockweiler Drive. Single-family residences within east Newhall abut the project site to the south and north Newhall and a 250-foot-wide property owned by MWD exist immediately to the west.

The 94.96-acre property owned by The Master’s College consists of The Master’s College campus, vacant land and the 5-acre improved Creekview Park. The Master’s College campus is composed of three areas located in the community of Placerita Canyon. The northernmost portion of the campus is bordered by Placeritos Boulevard to the south and Quigley Canyon Road to the west, with the northern boundary midway between Quigley Canyon Road and Oak Orchard Road and the eastern boundary perpendicular with the terminus of Placeritos Boulevard with Placerita Creek adjacent to the east. The area north of

Placerita Canyon Road, east of Meadview Avenue, south of Placeritos Boulevard and east of Quigley Canyon represents the center of the three campus segments. The remainder and largest portion of The Master's College campus is bordered to the north by Placerita Canyon Boulevard, to the south by the non-linear, but roughly east/west trending ridgeline that runs through The Master's College property. Uses within the Placerita Canyon community about the campus to the east and west and include a church, single-family residences and vacant land. Currently, the main college campus entrance is located on Placerita Canyon Road. Within the project site immediately south of the college campus is vacant land followed by the 12.6-acre MWD property. South of the MWD property is vacant land and the 5-acre improved Creekview Park. Newhall Creek generally trends east/west within the project site and the MWD property.

Portions of the project site that are not a part of The Master's College property include 7.02 and 0.61 acres to the east and west of The Master's College property, respectively, and 2.58 acres within a larger parcel owned by MWD that bisects the project site, which will accommodate the proposed Dockweiler Drive extension; and a 2.48-acre site to the east of The Master's College property where 0.75- and 3.0-million-gallon water tanks are located. All of these areas are currently undeveloped. The 7.02-acre City-owned parcel and the 2.48-acre site where the water tank replacement is proposed are located to the east of The Master's College property between the eastern boundary of the land owned by the college and the existing terminus of Dockweiler Drive. This portion of the project site includes the area where the existing 0.75-million-gallon water tank is located but does not include the area where the 3.0-million-gallon water tank exists.

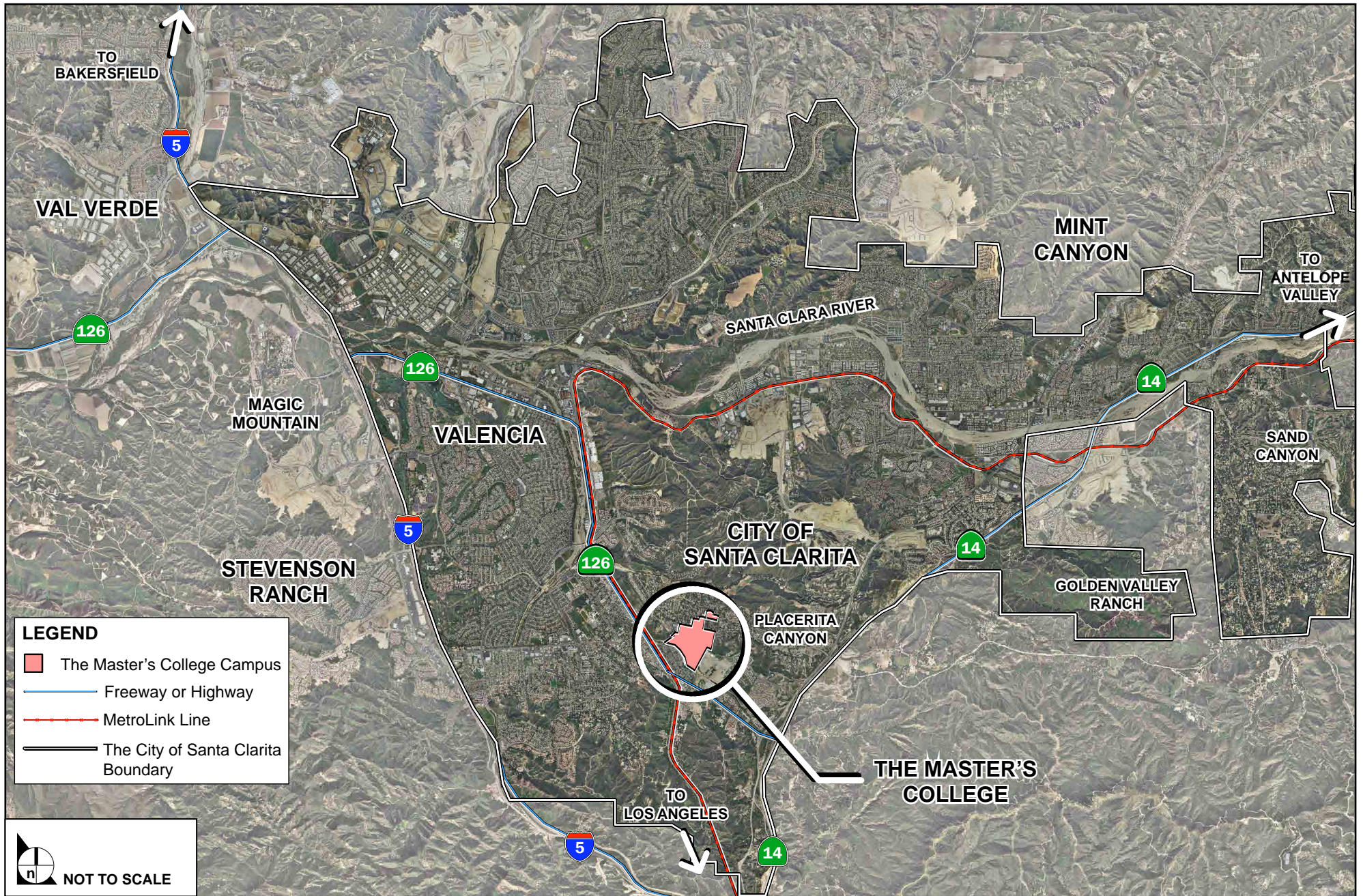
The regional and historical context of each of the four project components is important to fully understand what is proposed and to adequately analyze potentially significant impacts associated with project implementation. The following discussion provides the reader with a thorough background, on a local and regional level, on the history and values of the communities surrounding the project site, the planning involved with the extension of Dockweiler Drive and history of the 5-acre improved Creekview Park and adjacent open space parcels.

## **Local Historical Context**

The Master's College property is located within the community of Placerita Canyon and adjacent to the communities of Downtown and North Newhall and Deputy Jake Neighborhood. The historical context of The Master's College and neighboring communities are described below as a mechanism to fully understand their growth, development, and values. Additionally, a history of the planned extension of Dockweiler Drive and Creekview Park and adjacent open space is provided.





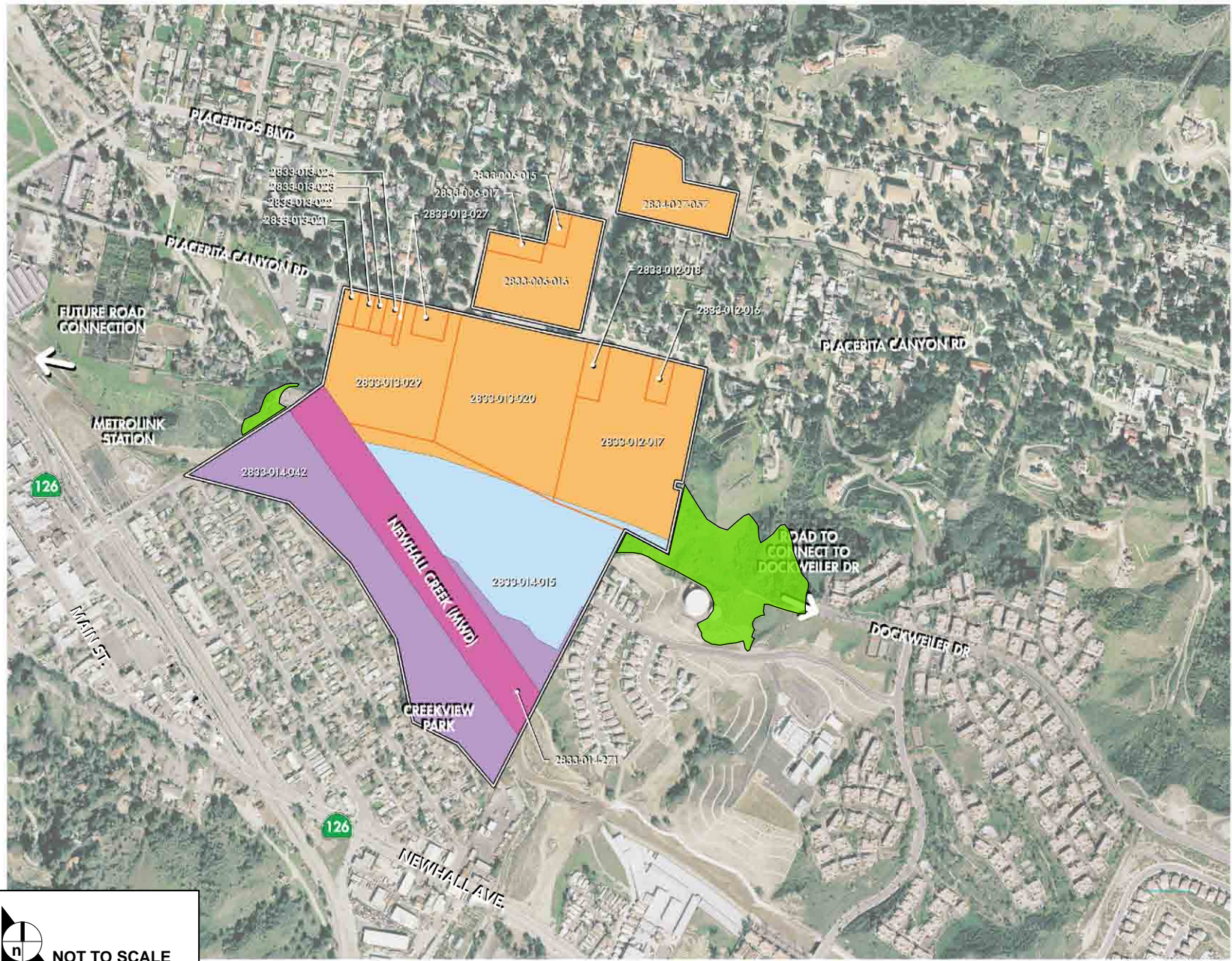


SOURCE: The Master's College Master Plan - January 2007

FIGURE 2.0-2

Vicinity Map





**COLOR LEGEND**

- FUTURE OPEN SPACE
- FUTURE RESIDENTIAL DEVELOPMENT AREA
- CAMPUS MASTERPLAN AREA
- MWD OWNED AREA

————— INDICATES THE EXISTING CAMPUS BOUNDARY

XXXX-XXX-XXX INDICATES ASSESSORS PARCEL NUMBER

- GRADING, ROADWAY EXTENSION, AND NCWD

Photo Date: 04-01-2004

SOURCE: The Master's College Master Plan - May 2008

FIGURE 2.0-3

Project Site Boundary / Environmental Setting

### ***The Master's College***

The Master's College was originally founded as the Los Angeles Baptist Theological Seminary in 1927. The school opened a campus in downtown Los Angeles in the 1940s called the Los Angeles Baptist College. In 1961, the college moved to Placerita Canyon after purchasing the Happy Jack Dude Ranch. In 1985, Dr. John MacArthur became president of the college and, in 1987, the school was renamed The Master's College. The Master's College quickly grew from a population of 305 in 1984 to 863 students in 1989. The northern portion of the campus was purchased from Grace Baptist Church in 1997. In May 2001, the Planning Commission considered and conditionally approved a proposal for the 29,000-square-foot C.W. Smith dormitory. As a part of the dorm project, The Master's College was conditioned to limit the college's ability to apply for further expansions until the review and approval of the campus-wide master plan. The proposed Master's College Master Plan is a response to the conditions of approval for the Smith dormitory.

The college currently offers traditional undergraduate degree programs in 13 fields of study encompassing 57 distinct emphasis areas. At the graduate level, the college offers various degrees including Masters of Arts in Biblical Counseling, Biblical Studies, and Education. Current enrollment on the college campus is 1,105, including 960 full-time and 145 part-time students. Part-time students are those enrolled in the Center for Professional Studies (CPS).

The 94.96-acre Master's College campus consists of 261,147 square feet of building space in 38 buildings. Approximately 41 percent of the space is dedicated to six student residences, housing 706 students. The remaining facilities of the college are used for classrooms, laboratories, auditoriums, a gymnasium, a dining center, offices, and student services. Recent major facility improvements on campus include a new 4,000-square-foot fitness center, remodeling of an existing building into a state-of-the-art music center, and a new student residence hall. The college owns two off-campus apartment buildings in Newhall on the 22000 block of 8<sup>th</sup> Street that include 21 units with a maximum capacity of 80 beds. The Master's College currently operates a shuttle traveling to and from the off-campus apartment buildings.

### ***Placerita Canyon Community***

The Placerita Canyon community is generally located between San Fernando Road and SR 14, north of the existing and future extension of Dockweiler Drive, and south of the Circle J Ranch and Porta Bella communities. Placerita Canyon is located within a special standards district that is governed by Section 17.16.080 of the City of Santa Clarita Unified Development Code (UDC). The Placerita Special Standards District was established when the City incorporated and completed the first UDC and general plan in 1990. The Special Standards District was established to maintain, preserve, and enhance the rural and

equestrian character of Placerita Canyon, and to establish standards to guide future development in the community. The Placerita Canyon Special Standards District includes development standards for animal keeping, trails, and commercial and residential development.

Retaining a rural oak woodland character, this equestrian-oriented area is one of the older communities in the region. The land use in the area reflects the historic establishment of Santa Clarita as a railroad, oil, and mining town. Oilfields are located west of SR 14, while the Union Pacific Railroad tracks run adjacent to San Fernando Road. Much of the land to the east has been designated as open space by inclusion of the Angeles National Forest. The Placerita Canyon area is predominantly privately owned; major holdings include The Masters College, the Golden Oak (Disney Movie Ranch), Gene Autry's Melody Ranch (site of the Cowboy Poetry and Music Festival), and the Placerita Canyon Nature Center.

The primary roadway into Placerita Canyon is Placerita Canyon Road, which connects to Railroad Avenue, via 13<sup>th</sup> Street, to the west and SR-14 to the east. To the east, Placerita Canyon Road ends at a locked gate with access available only to canyon residents. Other key roadways providing internal access within the canyon include Alderbrook Drive, Aden Avenue, Placeritos Boulevard, and Quigley Canyon Road.

Placerita Canyon includes an active property owner's association and a roadway management owner's association. In addition, mixed in with the residential uses are church facilities, a mobile home park, as well as commercial facilities (horse boarding and training, including Melody Ranch). A backbone sewer line was recently installed by the City along Placerita Canyon Road. The Master's College has connected most of the existing campus buildings to the sewer system with the exception of the North Campus and seven buildings fronting Placerita Canyon Road that are more than 200 feet from the sewer trunk line. Finally, a commercial area is located south and east of Alderbrook Drive within Industrial Commercial (IC) zoning. The area west of Alderbrook Drive and east of San Fernando Road that is used as overflow parking for the Cowboy Poetry and Music Festival is currently undeveloped, however, it is part of the proposed North Newhall Specific Plan.

### ***Newhall Community***

The Newhall community is generally located south of Via Princessa, west of the Placerita Canyon community and The Master's College property, north of the future Gate King industrial park, and east of Newhall Avenue. The Newhall community consists of three sub-communities of Downtown Newhall, North Newhall, and West Newhall and is accessed directly by San Fernando Road and Lyons Avenue.

Established in 1876 in conjunction with the construction of the Southern Pacific Railroad, Newhall was once the center of commerce and cultural activities for Santa Clarita. Downtown Newhall had a rail

station, hotel, and was the seat of local government. Over time, as other portions of the Santa Clarita Valley developed, the importance of Downtown Newhall waned. Passenger trains stopped running and the rail station was closed. Suburban, auto-oriented development drew people away from the small-lot, pedestrian-oriented, downtown area. In 1970, most government jobs relocated to a new civic center in another community.

A coordinated Newhall revitalization effort began in 1996 when the redevelopment agency adopted an improvement plan for the Downtown Newhall area. The plan focused on streetscape and façade improvements but did not address underlying issues that led to the area's decline. The opening of the downtown Metrolink station fueled community support for a Newhall renaissance. This led to the adoption of the Downtown Newhall Specific Plan (DNSP), a formal redevelopment plan to transform Downtown Newhall into a thriving, mixed-use, pedestrian-oriented urban village with a series of economic engines.

Downtown Newhall includes a small commercial district with two community theaters, Hart Park, and small apartment complexes. Recently completed projects for the area include the realignment of Railroad Avenue, the Jan Heidt Metrolink Commuter Rail Station, the 0.5-acre Veteran's Historic Plaza and the Santa Clarita Community Center. West Newhall is an older residential neighborhood with single-family homes and small multiple-family apartment and condominium complexes, Placerita Junior High School and William S. Hart High School. The Newhall Creek separates West Newhall and North Newhall, although a series of east-west bridges connect the two areas. The North Newhall area consists of a 213-acre region that is the study area for the proposed North Newhall Specific Plan. Land uses in this area include an older strip commercial corridor along San Fernando and an industrial center south of 13<sup>th</sup> Street and a vacant 95-acre property located east of San Fernando Road and owned by Casden Property, LLC.

### ***Deputy Jake Neighborhood***

The community described herein as the "Deputy Jake neighborhood" pertains to the development located directly east of The Master's College property, south of the future Dockweiler Drive extension, west of Valle Del Oro, and north of the Newhall Creek.

The neighborhood is relatively new with development occurring in 2003. Prior to development, the area was characterized by natural, rugged terrain with natural slopes ranging from 1,320 feet to 1,520 feet. With the exception of the two water tanks owned by the Newhall Water Company, the area was undisturbed and vacant, prior to 2003. The smaller of the two water tanks, which was originally constructed in 1962 and rehabilitated in the late 1990s, is a 0.75-million-gallon reservoir and measures



64 feet in diameter and 32 feet in height. The larger water tank, which is a 3.0-million-gallon reservoir and measures 132 feet in diameter and 32 feet in height, was constructed in 1995.

The development of the Deputy Jake neighborhood was approved by the City of Santa Clarita in 2001 and shortly thereafter in 2003 was constructed. Three streets were constructed to access the development, which include Deputy Jake Drive, Kirsch Court, and Matthew Place. Deputy Jake Drive intersects with Valle Del Oro to the east, terminates to the west at The Master's College property, and parallels Dockweiler Drive. Kirsch Court and Matthew Place are residential cul-de-sacs that branch southward from Deputy Jake Drive.

The Deputy Jake neighborhood consists of three primary components including a subdivision with 53 single-family residences, the Michael J. McGrath public elementary school, and an open space component.

The residential development is generally located adjacent to The Master's College property, at the western end and south side of Deputy Jake Drive, and clustered on the northwestern portion of the neighborhood. The residential lot sizes range between 4,500 square feet to 20,000 square feet in size and consist of two-story residences.

The Michael J. McGrath Elementary School, which was built and opened in 2003, is located on the eastern end and south side of Deputy Jake Drive. The elementary school serves approximately 700 students from Kindergarten through the sixth grade. The school consists of a two-story facility on approximately 9.8 acres of land.

The area located between and south of the residential subdivision and the elementary school were designated as common areas and used as open space lots. This area comprises approximately 27 acres of land and consists of vacant slopes, various oak trees, and a pedestrian trail to the residential subdivision.

### ***Planned Dockweiler Drive Extension***

Originally constructed in the early 1990s, Dockweiler Drive is currently a 73- to 80-foot-wide right-of-way that connects to Sierra Highway to the east and terminates 500 feet west of Valle del Oro to the west. Dockweiler Drive consists of one lane in each direction with a landscaped median and is used as the primary access to single family and multiple family residences along Dockweiler Drive.

As a part of the General Plan Amendment to the circulation element in 1997, the City Council approved the extension of Dockweiler from Lyons Avenue to where it presently exists and its designation as a Major Highway. According to the Santa Clarita General Plan, Dockweiler Drive is designated as a Major

Highway and may be restriped to include six lanes. In the year prior to the 1997 circulation element amendment, the City conducted several community meetings and public hearings to discuss all of the circulation element updates, including the Dockweiler Drive extension. The extension of Dockweiler Drive is a critical east-west link that would provide a through connection from Sierra Highway to I-5. The extension would also relocate the main entry to The Master's College from Placerita Canyon Road and redirect traffic from Placerita Canyon Road onto Dockweiler Drive.

### *Creekview Park and Adjacent Open Space*

Creekview Park is a neighborhood-serving park, located immediately south of the Newhall Creek and north of the East Newhall community, at the northern terminus of 2<sup>nd</sup> Street. Creekview Park was constructed by the City of Santa Clarita and opened to the public on May 3, 1997. Although the park is currently owned by The Master's College, the City of Santa Clarita has leased the property since May 1996.

The 5-acre park consists of a kid's play area, lighted basketball court, open-turf areas, and picnic areas, serving a 0.5-mile radius and a population of up to 5,000 people. Creekview Park has no programmed sports.

Since its grand opening in 1997, Creekview Park has seen numerous improvements, which include park lighting, installation of volleyball and basketball courts, restroom upgrades, and the connection of an equestrian/pedestrian trail to the park.

The adjacent open space area, consisting of approximately 25 acres, includes a 12.6-acre, 250-foot-wide property owned by MWD, the Newhall Creek, and a hillside area located between Market Street and the parking lot for the dorms. This adjacent open space area is located immediately north of the older residential community of Downtown Newhall and extends northward to the northern boundary of the MWD property. This area is primarily vacant with existing grasses, shrubs, and oak trees and informal trails along the creek.

## **PROJECT APPROVALS AND ENTITLEMENTS**

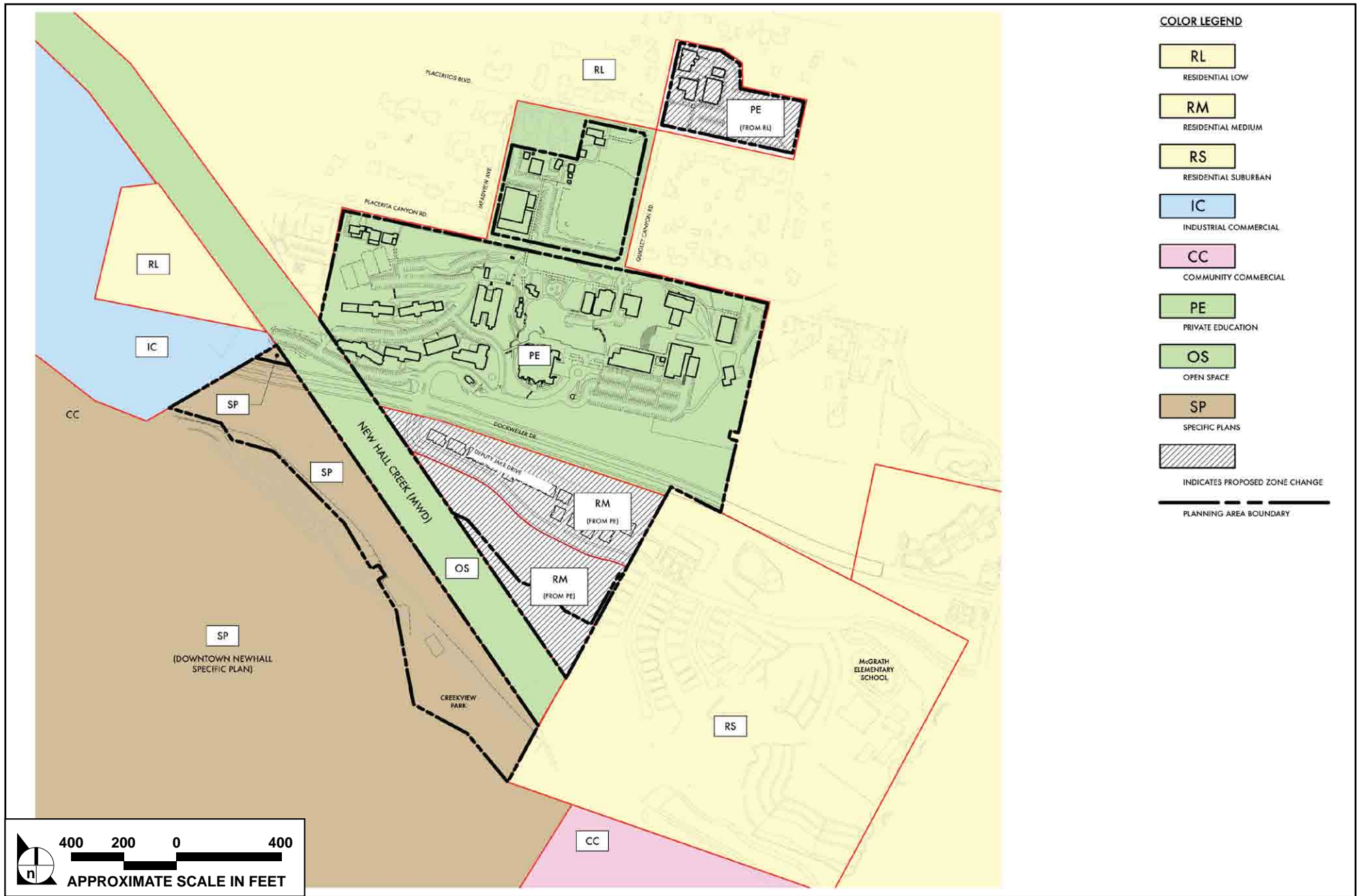
The project applicant is requesting approval of the following entitlement applications, which govern the development activities on the project site as described above and in more detail later in this section:

**The Master's College Master Plan 07-001.** The 10-year master plan would provide a conceptual land use plan, development regulations, design guidelines and programs to ensure that the college campus is developed in a manner consistent with the goals, objectives, and policies of the City, The Master's College

and the community. Specific development proposals contained in the master plan are summarized in **Table 2.0-1, Proposed Campus Development**, shown later in this document. The master plan has been prepared in accordance with the City of Santa Clarita General Plan and would serve as an implementing framework for the general plan as it affects the project site. The City Council is the approval authority for master plans. Both the Planning Commission and City Council must hold public hearings on the contents of a proposed master plan, as prescribed in Section 17.01.100 of the Santa Clarita UDC. Planning Commission review is advisory to the City Council and includes recommendations on required findings.

**General Plan Amendment 04-009.** An amendment to the Land Use and Circulation Elements of the Santa Clarita General Plan is required for consistency with the existing and proposed uses. The land use designation for that portion of the college north of Placeritos Boulevard is currently RL (Residential Low) and would be changed to PE (Private Education), which is consistent with the land use designation for the college south of Placeritos Boulevard. The area between the proposed Dockweiler Drive extension and Metropolitan Water District property where 54 condominium units are proposed is currently designated as PE and would be amended to the RM (Residential Moderate) designation to allow for the attached residential units. The Circulation Element would be amended with this application because it currently designates Dockweiler Drive as a six-lane Major Highway. With this amendment, the alignment of Dockweiler Drive would be defined as shown on Tentative Tract Map 66503 and redesignated as a four-lane Secondary Highway. This is to limit grading on the ridge that the alignment of Dockweiler Drive traverses within the project area and accommodate the volume of traffic anticipated, which would not require a Major Highway designation. Additionally, the designation as a four-lane Secondary Highway would assure that the roadway width is consistent with the current portion of the street to the east of the project area, and that the reduction in width will also allow for a feasible and safe installation due to the anticipated grade of the street. **Figure 2.0-4, Existing and Proposed General Plan and Zoning Designations**, shows the existing and proposed General Plan designations described above.

**Zone Change 04-006.** A Zone Change is required to ensure the general plan and zoning designations of the project area are consistent. This entitlement will change the area that will be subdivided and developed for multi-family attached residences, currently zoned PE (Private Education). This area is proposed to be designated RM (Residential Moderate) for consistency with the proposed residential use. The portion of the college north of Placeritos Boulevard is currently zoned RL (Residential Low). This property would be re-zoned to PE (Private Education) to ensure consistency with the existing buildings on the site used by the college for instructional uses. Existing and proposed uses within this portion of campus would remain consistent with the Placerita Special Standards District. Descriptions of proposed zoning designations are described below. **Figure 2.0-4** shows the existing and proposed zoning designations described above.



SOURCE: The Master's College Master Plan - May 2008

FIGURE 2.0-4

## Existing and Proposed General Plan and Zoning Designations

According to the Santa Clarita UDC, the Private Education zoning designation is intended to provide a specialized zone which promotes and encourages the continuation and development of private higher institutions of learning, and to permit the development of college related uses in conjunction with and necessary for the operation of private colleges, including but not limited to administrative offices, dormitories, conference facilities, libraries and research facilities. The Residential Low designation applies to single-family detached homes at a density of up to 2.2 dwelling units per gross acre. The keeping of horses and related animals as an accessory use is generally found in this zone. The RM (Residential Moderate) designation corresponds to small groupings of attached dwellings such as duplexes, triplexes, and fourplexes with a density of up to 11.0 dwelling units per acre. This zone is also consistent with typical densities for mobile home parks. Additional uses are permitted that are complementary to, and can exist in harmony with, a residential neighborhood, including single-family homes.

**Tentative Tract Map 66503.** Tentative Tract Map (TTM) 66503 includes the subdivision of 81.55 acres to create 17 residential lots to accommodate 54 multi-family air space units, two homeowner's association (HOA) lots, five college lots, two public roadways, one water quality basin lot, and three open space lots. TTM 66503 would allow for the creation of 54 attached condominium residential units for future development, lots dedicated for open space purposes, and portions of the Dockweiler and Deputy Jake Drive extensions. A 12.6-acre swath of land owned by the MWD bisects the area included in TTM 66503. Under TTM 66503 dated June 17, 2008, Lots 1 through 5 would remain under the ownership of The Master's College. Lots 6, 7, 11, 12, and both public roadways would be dedicated to the City of Santa Clarita. The residential lots (Lots 8 through 10) will be prepared and graded as part of this application but the construction of the condominium units will occur in the future. The lots would be sold to a home development company and subsequent development plans will be reviewed by the Planning Division to ensure consistency with approvals and architectural compatibility with the surrounding neighborhood. The proposed condominium development would consist of 16 groups of three- and four-unit townhome clusters that would range between two and three stories, with a building height not to exceed 33 feet. The proposed condominium units would be required to adhere to the UDC multi-family standards related to setbacks, parking, open space, storage space, and landscaping. An HOA responsible for maintaining the property would be run by the residents of the new condominium community. The soil moved during site preparation would be used for the development of the proposed main campus entrance on Dockweiler Drive, and installation of the portion of Dockweiler Drive for which the applicant is responsible. Additional information on TTM 66503 is provided under the **Technical, Economic and Environmental Characteristics subsection** below.

**Conditional Use Permit 04-031.** The proposed project requires approval of a Conditional Use Permit to allow residential building heights in excess of two stories and/or 35 feet tall. Proposed residential

buildings within the 54-unit residential condominium development would not exceed three stories or 35 feet in height.

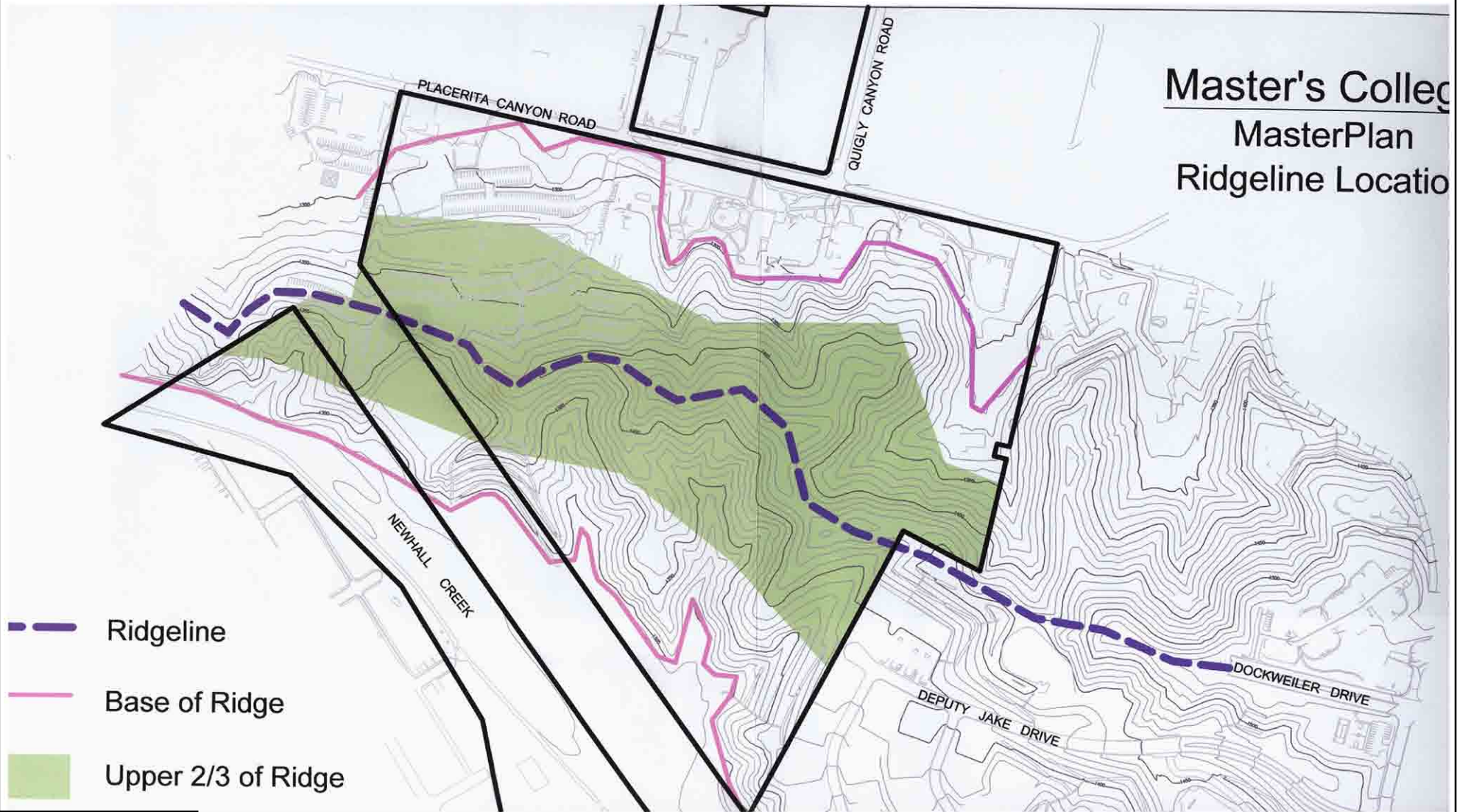
**Ridgeline Alteration Permit 07-001.** The project site is within the City's Ridgeline Preservation (RP) Overlay Zone. The RP overlay zone applies to areas identified on the adopted ridgeline map on file in the City's Planning Division. Any development, including but not limited to, grading permits, building permits and land use entitlements, indicated on the ridgeline map and located within the upper two-thirds of the overall height of the ridgeline from its base is subject to a ridgeline alteration permit. A Ridgeline Alteration Permit is required because the connection of Dockweiler Drive, new main campus entrance, and several proposed buildings would require the modification of the upper two-thirds of the non-linear but roughly east/west trending ridgeline located between Placerita Canyon Road and Newhall Creek. **Figure 2.0-5, Existing Ridgeline**, shows the location of the ridgeline within the project site.

**Hillside Review Permit 04-010.** A Hillside Review Permit is required for development on any site where the average cross slope of the property exceeds 10 percent. The average cross slope for the project site is 23.2 percent. Chapter 17.80, Hillside Development Ordinance, of the Santa Clarita UDC contains development regulations applicable to all projects relating to grading permits, building permits, parcel maps, tentative tract maps, conditional use permits, plans for development review, zone changes and General Plan amendments for sites with an average cross slope of 10 percent or greater.

**Oak Tree Permit 04-050.** An oak tree permit is required because oak trees on or around the project site would be impacted with the development proposed in the master plan and tentative tract map. In total, there are 388 oak trees located on site, including 35 heritage oak trees (any oak tree measuring 108 inches or more in circumference or, in the case of a multiple trunk tree, two or more trunks measuring 72 inches each or greater in circumference, measured at 4.5 feet above the natural grade). The project proposes to remove 79 healthy oak trees (none of which are heritage oaks), encroach into the dripline of 75 healthy oak trees, and encroach into the 5-foot protected zone of 22 healthy oaks. Six of the oak trees surveyed on site have died following the 2005 rainstorms and natural causes. Project impacts to oak trees are discussed in **Section 5.3, Biological Resources**, and related technical studies and the proposed oak tree mitigation plan are provided in **Appendix 5.3** of this EIR.



# Master's College MasterPlan Ridgeline Location



 NOT TO SCALE

SOURCE: The Master's College Master Plan - May 2008

FIGURE 2.0-5

Existing Ridgeline

The discretionary permits described above generally discuss all major aspects of the proposed project, with the exception of the dedication of the southernmost 20.5 acres of The Master's College property, including the 5-acre improved Creekview Park, to the City of Santa Clarita for future parkland/open space purposes. Creekview Park is currently developed and used as a public facility. Only the transfer of ownership would occur as part of this proposal. However, approval of the TTM 66503 includes the creation of the 20.5-acre parcel that includes Creekview Park, which would be dedicated to the City. Additionally, the removal of the 0.75-million-gallon water tank and replacement with a 5.0 million gallon water tank would not require a discretionary approval from the City. Approvals related to grading discussed above would apply to the water tank replacement as associated grading would occur at the same time as the other proposed actions.

## PROJECT OBJECTIVES

CEQA requires that an EIR include a statement of the objectives sought by a project applicant (*State CEQA Guidelines*, Section 15124(b)). Objectives for each component of the proposed project are listed below.

### The Master's College Master Plan

#### *Land Use Objectives*

- (a) Develop a campus that fosters positive interchange between all students, faculty, and administration by
- constructing a chapel to enable students, faculty and administration to worship together;
  - encouraging spiritual growth through maintaining the rural environment to provide for quiet reflective learning;
  - locating campus functions, buildings and campus furniture to encourage interchange and discourage isolation;
  - maximizing the number of residents living on campus;
  - improving services to those that live off campus;
  - providing central student services, including dining, to allow the student body to interact;
  - enhancing outdoor gathering spaces at the North Campus, Duncan Center, administration building and The Oaks; and
  - organizing residence halls to encourage interaction.



- (b) Upgrade an aging campus to meet current codes by
- replacing a campus-wide septic system as necessary with the public sewer,
  - improving fire and life safety by upgrading buildings and constructing a secondary access,
  - modernizing buildings to provide full accessibility and seismic safety while minimizing hazardous materials, and
  - establishing community design standards consistent with the rustic character of both Placerita Canyon and Newhall.
- (c) Plan the campus to meet future needs by
- developing a master plan for the future growth and development of the college,
  - constructing facilities that are sized to adequately serve the existing and future academic mission, and
  - appropriately reusing buildings where possible.
- (d) Respect the surrounding context and environment by
- improving campus grounds and building while respecting the goals of the Placerita Canyon Special Standards District;
  - placing buildings, support structures and lighting to minimize impact to adjacent residences;
  - directing pedestrian and vehicular traffic to minimize disruption to adjacent neighborhoods and preserve and maintain the rural quality of the Canyon; and
  - developing a rich, natural theme for the physical improvement of the campus.

### *Circulation Objectives*

- (a) Establish new primary campus entrance on Dockweiler Drive, thereby reducing campus-related traffic through the canyon.
- (b) Redirect campus access through the new campus main entrance on Dockweiler Drive.
- (c) Restrict dormitory parking access to campus main entrance on Dockweiler Drive.
- (d) Provide a comprehensive wayfinding program to properly direct traffic.
- (e) Provide a secondary emergency access roadway where canyon residents can use new primary campus.

- (f) Provide clearly demarcated loading and unloading areas and ensure that these areas are signed appropriately.

### ***Pedestrian Objectives***

- (a) Create a comprehensive pedestrian network linking all areas of the campus.
- (b) Encourage pedestrian routes away from Placerita Canyon Road and Quigley Canyon Road.
- (c) Provide clearly demarcated, well-lit pedestrian routes that are safe and comfortable.
- (d) Respect the neighbors and characteristics of surrounding communities.
- (e) Provide equestrian connections as identified in the Placerita Canyon Special Standards District.

### **Dockweiler Drive and Deputy Jake Drive Extensions**

- (a) Provide an efficient east-west connection through Newhall to connect Sierra Highway and State Route 14 on the east to Interstate 5 via Lyons Avenue on the west.
- (b) Provide a secondary emergency access roadway.
- (c) Redirect access to The Master's College campus away from Placerita Canyon Road and onto a new main entrance on Dockweiler Drive.

### **Tentative Tract Map 66503**

- (a) Provide 54 attached housing units to accommodate projected regional growth in a location which is adjacent to existing and planned infrastructure, urban services, public transit, transportation corridors, educational facilities, and major employment areas.
- (b) Cluster residential development within the site to preserve regionally significant natural resource areas and sensitive habitat.
- (c) Create a source of funding for the extensions of Dockweiler Drive and Deputy Jake Drive.

### **Creekview Park and Adjacent Open Space Dedication**

- (a) Provide for the recreational use of open space areas that are compatible with protection of significant natural resources.
- (b) Provide and dedicate to the City a neighborhood park and improvements, which satisfy park dedication requirements and meet the recreational needs of local residences.
- (c) Provide a range of active/passive recreational opportunities.
- (d) Provide an extensive system of pedestrian, equestrian and bicycle trails consistent with the City's Santa Clara River Trail plans and the City's Circulation Element.

## TECHNICAL, ECONOMIC, AND ENVIRONMENTAL CHARACTERISTICS

CEQA requires an EIR to provide “[a] general description of the project’s technical, economic, and environmental characteristics, considering the principal engineering proposals, if any, and supporting public service facilities” (*State CEQA Guidelines*, Section 15124(c)). Accordingly, technical, economic, and environmental characteristics for each of the four project components are provided below. The format throughout this Draft EIR will be consistent with the following discussion in that each environmental impact section will address the four project components individually and in the order presented below.

### The Master’s College Master Plan

#### *Technical Characteristics*

##### **Land Use Plan**

The proposed land use plan defines three distinct campus zones including Academic Life, Spiritual Life, and Residential Life. These zones are shown in **Figure 2.0-6, Campus Use Zones**. As shown, the three defined campus zones would be connected through two major pedestrian linkages intended to limit vehicle trips and remove foot traffic from Placerita Canyon and Quigley Canyon Roads. On-campus development was planned and designed to correspond with the defined campus zones.

**Figure 2.0-7, Illustrative Master Plan**, depicts the development proposed by the master plan along with the existing campus structures. **Table 2.0-1, Proposed Campus Development**, summarizes the new, expanded, and demolished structures proposed by the master plan. As shown, the master plan proposes seven new buildings including the MacArthur Chapel, a 120-bed dormitory, and over 130,000 square feet of new classroom space. Small expansions to eight existing buildings including the dining hall, two dormitories, three classrooms, the communications center, and the gymnasium would total 32,988 square feet. Buildings proposed for demolition include the computer and information sciences, career services, Wismer Computer Center, and Vider buildings and would remove 13,110 square feet of existing floor space. Overall, the land use plan proposes the net addition of 239,878 square feet of floor space. In addition, the land use would change so that the majority of campus activity is focused outside of the canyon and in proximity to the new campus access at Dockweiler Drive. After grading is complete, a temporary play field may be created where the two new classroom buildings labeled as 41 and 42 on **Figure 2.0-7** will eventually be constructed.

**BUILDING & FACILITY LEGEND**

**EXISTING**

- 1 REESE CENTER FOR SCIENCE AND MATHEMATICS
- 2 DUNKIN STUDENT CENTER / MUSTANG GRILL
- 3 COMPUTER & INFORMATION SCIENCE BUILDINGS
- 4 POWELL LIBRARY
- 5 ADMINISTRATION BUILDING OFFICE OF ENROLLMENT
- 6 CAREER SERVICES & ACADEMIC COUNSELING
- 7 WISMER COMPUTER CENTER
- 8 VIDER BUILDING (ADMIN.)
- 9 "UNDER THE OAKS" GARDEN
- 10 STUDENT LIFE
- 11 CHAPEL MEDIA
- 12 SWIMMING POOL
- 13 HOTCHKISS HALL (DORM.)
- 14 SLIGHT HALL (DORM.)
- 15 DIXON HALL (DORM.) - WITH 30 BED ADDITION
- 16 WALDOCK HALL (DORM.)
- 17 C.W. SMITH HALL (DORM.)
- 18 SWEAZY HALL (DORM.) - WITH 50 BED ADDITION
- 19 TENNIS COURTS
- 20 CENTER FOR PROFESSIONAL STUDIES 2 (CPS2)
- 21 CENTER FOR PROFESSIONAL STUDIES 1 (CPS1)
- 22 HOME ECONOMICS CENTER
- 23 CAMPUS SAFETY (BOOTH)
- 24 BROSS GYMNASIUM
- 25 FITNESS CENTER
- 26 PLANT OPERATIONS (ADMIN.)
- 27 SOCCER CLUB HOUSES
- 28 COMMUNICATION CENTER
- 29 BIBLICAL STUDIES CENTER
- 30 MUSIC CENTER
- 31 BUSINESS & TEACHER EDUCATION CENTER
- 32 ENGLISH & HISTORY CENTER
- 33 MISSIONARY OR STAFF RESIDENCE
- 34 STEWARDSHIP SERVICES

**PROPOSED**

- 40 NEW MACARTHUR CENTER BUILDING (MAX. HT. 125 FT.)
  - 41 NEW BUILDING (CLASSROOM) (MAX. HT. 50 FT.)
  - 42 NEW BUILDING (CLASSROOM) (MAX. HT. 50 FT.)
  - 43 NEW SECURITY GUARD HOUSE (MAX. HT. 20 FT.)
  - 44 NEW 120 BED DORMITORY BUILDING (MAX. HT. 50 FT.)
  - 45 NEW COMPUTER SCIENCE BUILDING (MAX. HT. 38 FT.)
  - 46 NEW MAINTENANCE BUILDING (MAX. HT. 35 FT.)
  - 47 NEW ENTRY FEATURE (MAX. HT. 28 FT.)
- ##X INDICATES PROPOSED EXPANSION FOR AN EXISTING BUILDING OR FACILITY

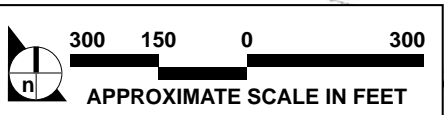
**SITE ELEMENTS LEGEND**

**EXISTING**

- A EQUESTRIAN TRAIL
  - B PETE REESE ATHLETIC FIELD
- PROPOSED**
- C NEW ARBOR/ARCADE/PLAZA
  - D NEW PEDESTRIAN BRIDGE
  - E NEW CAMPUS PLAZA
  - F RELOCATED OR RECONFIGURED PARKING
  - G "UNIFYING DESIGN ELEMENT" STONE AND WOOD ARCADE ELEMENT
  - H NEW PEDESTRIAN WALK
  - J NEW OUTDOOR PRAYER GRADEN
  - K NEW DROP OFF LOCATION
  - L NEW CAMPUS IDENTIFICATION SIGNAGE
  - M NEW AMPHITHEATRE
  - N NEW PUBLIC GREEN AREA
  - O NEW DORMITORY PARKING
  - P NEW STUDENT/FACULTY PARKING
  - Q NEW ACCESS ROAD
  - R NEW PEDESTRIAN CONNECTION
  - S NEW ENTRANCE DRIVE TO NEW PARKING AREA
  - T NEW CENTRAL PLANT
  - U NEW MACARTHUR CENTER TRASH ENCLOSURE [MAX. HT. 12 FT.]

**COLOR LEGEND**

- ACADEMIC LIFE ZONE
- SPIRITUAL LIFE ZONE
- RESIDENTIAL LIFE ZONE
- FOCAL BUILDING / SPACE
- GENERAL DIRECTION OF STUDENT MOVEMENT
- PLANNING AREA BOUNDARY



SOURCE: The Master's College Master Plan - May 2008

FIGURE 2.0-6

Campus Use Zones





SOURCE: The Master's College Master Plan - May 2008

FIGURE 2.0-7

Illustrative Master Plan

**Table 2.0-1  
Proposed Campus Development**

<b>Land Use</b>	<b>Square Feet/Beds</b>	<b>Height/Stories</b>
<b>New Buildings</b>		
Chapel/Conference	55,000	125 feet/2 stories
Classrooms	120,000	50 feet/2–3 stories
Security Guard House	2,500	20 feet/1 story
Dormitory	27,000/120 beds	50 feet/3 stories
Computer Science	10,000	38 feet/2 stories
Maintenance Building	5,000	35 feet/1 story
North Campus Tower	500	28 feet/1 story
<b>Subtotal</b>	<b>220,000</b>	
<b>Expanded Buildings</b>		
Dining Hall	4,778	1 story
Dorm Expansion	3,600/30 beds	2 stories
Dorm Expansion	6,600/50 beds	2 stories
Classroom Expansion	840	1 story
Classroom Expansion	1,380	1 story
Classroom Expansion	640	1 story
Gym Expansion	13,150	1 story
Communication Center	2,000	1 story
<b>Subtotal</b>	<b>32,988</b>	
<b>Demolished Buildings</b>		
Computer and Information Science	5,700	2 stories
Career Services	720	1 story
Wisner Computer Center	2,160	1 story
Vider Building	4,530	2 stories
<b>Subtotal</b>	<b>13,110</b>	
<b>Total Net Change</b>	<b>239,878</b>	

*Source: Master's College Master Plan, June 2008.*

## Circulation Plan

All forms of campus circulation including vehicular, pedestrian, service and emergency access are modified within the proposed master plan. The proposed vehicle circulation plan, shown in **Figure 2.0-8**,

**Vehicular, Service and Emergency Access Circulation Plan**, is based on the proposed relocation of the main campus entry from Placerita Canyon Road to Dockweiler Drive, after the proposed extension of Dockweiler Drive to the western project site boundary. The new main campus entry would be aligned with a proposed extension of Deputy Jake Drive to limit the number of access points from Dockweiler Drive. Please see **Figure 2.0-17, Tentative Tract Map 66503**, which illustrates the extension of Dockweiler Drive and Deputy Jake Drive. As shown, Deputy Jake Drive would also provide access to the proposed 54-unit condominium development.

As shown in **Figure 2.0-8**, on-campus vehicular circulation would be modified with the new campus entry. Vehicles would enter the campus via a driveway from Dockweiler Drive and head east toward the proposed chapel where a roundabout would allow for passenger drop-off and pick-up. Vehicles could continue east past the proposed chapel to a large proposed surface parking lot. Upon entrance, students may head west through a proposed guard gate to the secure dormitory parking areas. Three access points would be provided via Placerita Canyon Road. One would be used to access the secure dormitory parking areas after passing through a campus safety booth and another would lead to a proposed passenger drop-off and pick-up point and could be followed to the existing surface parking lot behind the existing Powell Library and Administration building. The third access point on Placerita Canyon Road would allow entry to the campus area north of Placerita Canyon Road and would provide reconfigured driveways to existing surface parking lots with an exit on Meadview Avenue. Circulation within the northernmost portion of campus, north of Placeritos Boulevard and east of Quigley Canyon Boulevard would not change under the proposed master plan. Additionally, emergency access and service circulation would be provided at the east end of campus, east of the main campus entry to access the secure dormitory parking area and off of the proposed roundabout near the proposed chapel. The emergency access road proposed at the east end of campus would address the community concern of access out of Placerita Canyon in the event of an emergency. Access from the canyon would be provided through the existing Reese Center parking lot and a control gate would be used to prevent cut through traffic.

**Figure 2.0-9, Pedestrian and Equestrian Circulation Plan**, depicts the existing campus pedestrian and equestrian trails and proposed pedestrian pathways. Three major pedestrian connections would link the Hilltop Campus with the Valley Campus. The Hilltop and Valley Campus boundaries are shown in **Figure 2.0-10, Campus Identity Zones**. The primary pedestrian connection would run from the proposed chapel through the oak garden and a central hub. Another would run from the new classroom buildings adjacent to the large proposed surface parking lot, through the amphitheatre and to the dining hall and student center. The last pedestrian linkage would connect the chapel plaza to the library.



**BUILDING & FACILITY LEGEND**

- EXISTING**
- 1 REESE CENTER FOR SCIENCE AND MATHEMATICS
  - 2 DUNKIN STUDENT CENTER / MUSTANG GRILL
  - 3 COMPUTER & INFORMATION SCIENCE BUILDINGS
  - 4 POWELL LIBRARY
  - 5 ADMINISTRATION BUILDING OFFICE OF ENROLLMENT
  - 6 CAREER SERVICES & ACADEMIC COUNSELING
  - 7 WISMER COMPUTER CENTER
  - 8 VIDER BUILDING (ADMIN.)
  - 9 "UNDER THE OAKS" GARDEN
  - 10 STUDENT LIFE
  - 11 CHAPEL MEDIA
  - 12 SWIMMING POOL
  - 13 HOTCHKISS HALL (DORM.)
  - 14 SLIGHT HALL (DORM.)
  - 15 DIXON HALL (DORM.) - WITH 30 BED ADDITION
  - 16 WALDOCK HALL (DORM.)
  - 17 C.W. SMITH HALL (DORM.)
  - 18 SWEAZY HALL (DORM.) - WITH 50 BED ADDITION
  - 19 TENNIS COURTS
  - 20 CENTER FOR PROFESSIONAL STUDIES 2 (CPS2)
  - 21 CENTER FOR PROFESSIONAL STUDIES 1 (CPS1)
  - 22 HOME ECONOMICS CENTER
  - 23 CAMPUS SAFETY (BOOTH)
  - 24 BROSS GYMNASIUM
  - 25 FITNESS CENTER
  - 26 PLANT OPERATIONS (ADMIN.)
  - 27 SOCCER CLUB HOUSES
  - 28 COMMUNICATION CENTER
  - 29 BIBLICAL STUDIES CENTER
  - 30 MUSIC CENTER
  - 31 BUSINESS & TEACHER EDUCATION CENTER
  - 32 ENGLISH & HISTORY CENTER
  - 33 MISSIONARY OR STAFF RESIDENCE
  - 34 STEWARDSHIP SERVICES

- PROPOSED**
- 40 NEW MACARTHUR CENTER BUILDING (MAX. HT. 125 FT.)
  - 41 NEW BUILDING (CLASSROOM) (MAX. HT. 50 FT.)
  - 42 NEW BUILDING (CLASSROOM) (MAX. HT. 50 FT.)
  - 43 NEW SECURITY GUARD HOUSE (MAX. HT. 20 FT.)
  - 44 NEW 120 BED DORMITORY BUILDING (MAX. HT. 50 FT.)
  - 45 NEW COMPUTER SCIENCE BUILDING (MAX. HT. 38 FT.)
  - 46 NEW MAINTENANCE BUILDING (MAX. HT. 35 FT.)
  - 47 NEW ENTRY FEATURE (MAX. HT. 28 FT.)
- ##X INDICATES PROPOSED EXPANSION FOR AN EXISTING BUILDING OR FACILITY

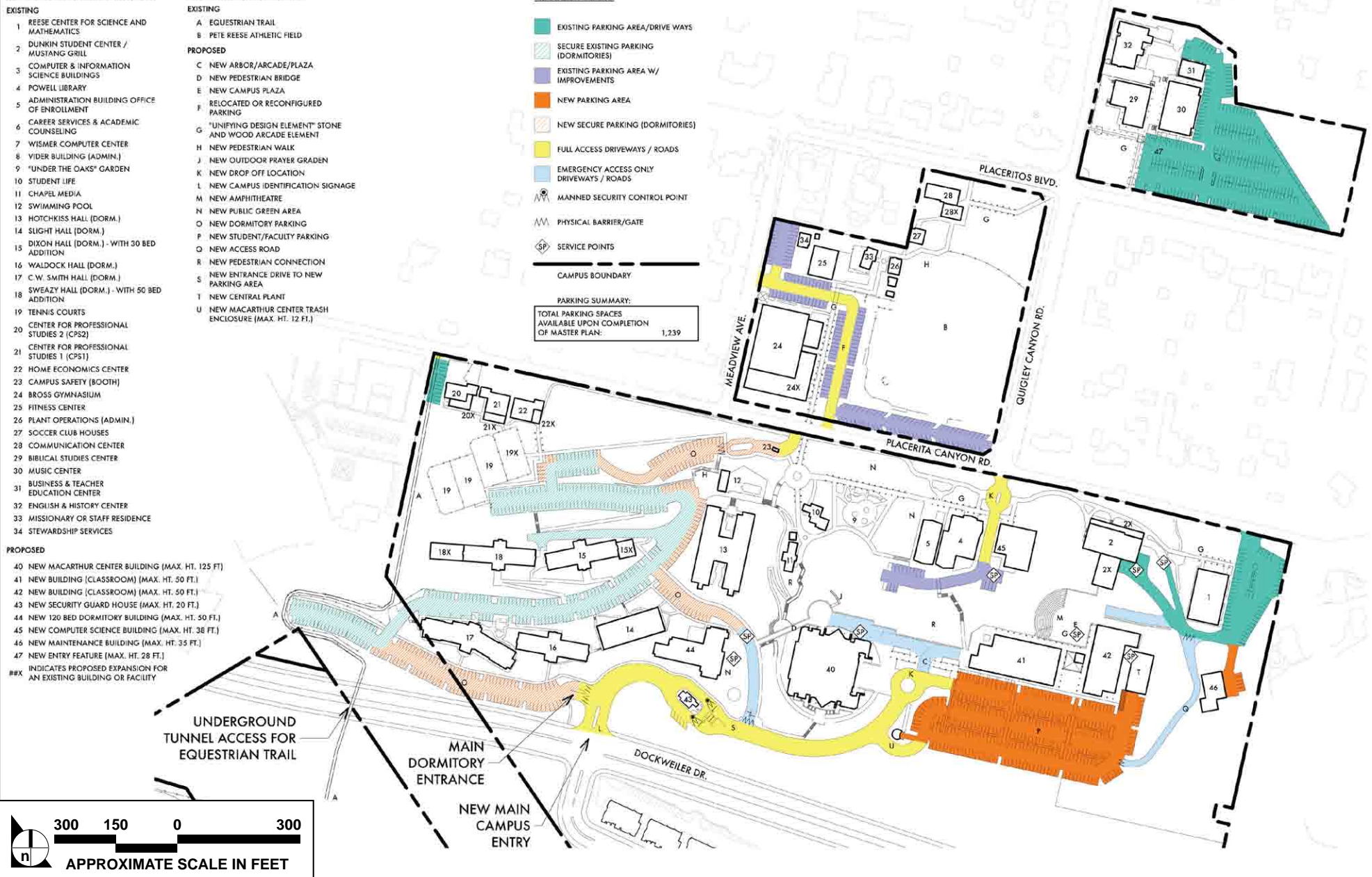
**SITE ELEMENTS LEGEND**

- EXISTING**
- A EQUESTRIAN TRAIL
  - B PETE REESE ATHLETIC FIELD
- PROPOSED**
- C NEW ARBOR/ARCADE/PLAZA
  - D NEW PEDESTRIAN BRIDGE
  - E NEW CAMPUS PLAZA
  - F RELOCATED OR RECONFIGURED PARKING
  - G "UNIFYING DESIGN ELEMENT" STONE AND WOOD ARCADE ELEMENT
  - H NEW PEDESTRIAN WALK
  - J NEW OUTDOOR PRAYER GRADEN
  - K NEW DROP OFF LOCATION
  - L NEW CAMPUS IDENTIFICATION SIGNAGE
  - M NEW AMPHITHEATRE
  - N NEW PUBLIC GREEN AREA
  - O NEW DORMITORY PARKING
  - P NEW STUDENT/FACULTY PARKING
  - Q NEW ACCESS ROAD
  - R NEW PEDESTRIAN CONNECTION
  - S NEW ENTRANCE DRIVE TO NEW PARKING AREA
  - T NEW CENTRAL PLANT
  - U NEW MACARTHUR CENTER TRASH ENCLOSURE (MAX. HT. 12 FT.)

**COLOR LEGEND**

- EXISTING PARKING AREA/DRIVE WAYS
- SECURE EXISTING PARKING (DORMITORIES)
- EXISTING PARKING AREA W/ IMPROVEMENTS
- NEW PARKING AREA
- NEW SECURE PARKING (DORMITORIES)
- FULL ACCESS DRIVEWAYS / ROADS
- EMERGENCY ACCESS ONLY DRIVEWAYS / ROADS
- MANNED SECURITY CONTROL POINT
- PHYSICAL BARRIER/GATE
- SERVICE POINTS
- CAMPUS BOUNDARY

**PARKING SUMMARY:**  
TOTAL PARKING SPACES AVAILABLE UPON COMPLETION OF MASTER PLAN: 1,239

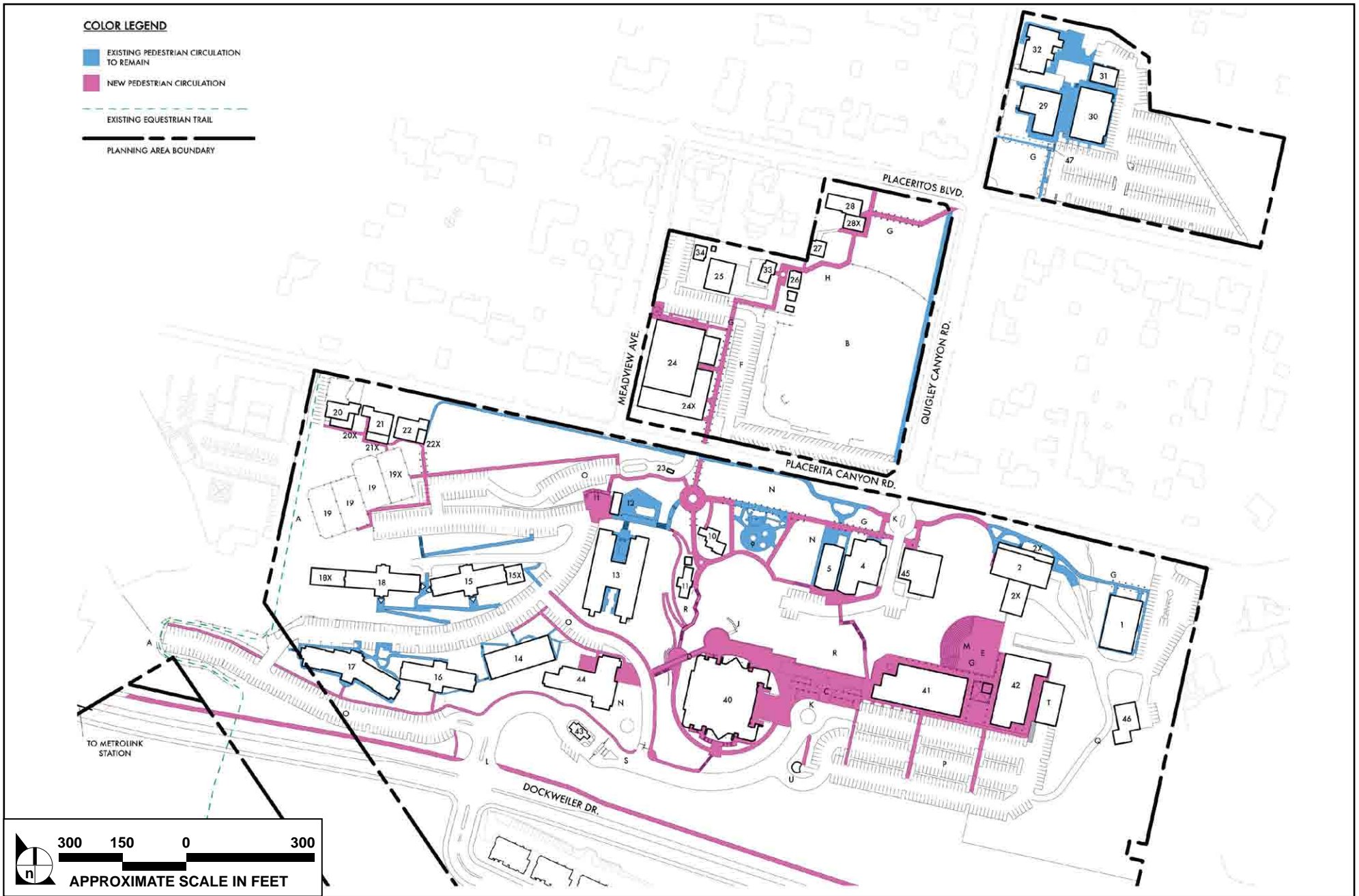


SOURCE: The Master's College Master Plan - May 2008

FIGURE 2.0-8

Vehicular, Service and Emergency Access Circulation Plan





SOURCE: The Master's College Master Plan - May 2008

FIGURE 2.0-9

Pedestrian and Equestrian Circulation Plan



SOURCE: The Master's College Master Plan - May 2008

FIGURE 2.0-10

Campus Identity Zones

Other proposed improvements include a pedestrian bridge near the proposed MacArthur Chapel that would connect the dormitories to the Hilltop Campus. The current path along Quigley Canyon Road would be relocated internally through the Valley Campus on the western edge of the Reese Athletic Field. A proposed arbor and trellis system is designed to physically define the new campus pedestrian circulation system and would be used to provide focused lighting for safety and maintenance of the rural character of the area. The arbor and trellis system would also support proposed signage and wayfinding elements. The proposed campus wayfinding elements are shown in **Figure 2.0-11, Campus Wayfinding Strategy**.

### **Parking**

With the proposed reconfiguration of The Master's College campus, including a new pedestrian circulation plan, a "park once" program to minimize vehicular traffic would be encouraged. Under the park once program, students will be encouraged to park when they arrive on campus and use pedestrian paths to travel around the campus instead of moving their vehicle one or more times to access different parts of the campus. All of the proposed and existing dormitory parking would be accessed via the new main campus entry on Dockweiler Drive. The dormitory parking areas would be expanded and continue to be restricted through a new security station. A large surface parking lot is proposed near the new campus center to serve the proposed chapel and new classroom buildings. Parking would be distributed throughout campus, though most would be located close to the new primary Dockweiler Drive access.

Based on the Santa Clarita UDC, future parking requirements were calculated based on the proposed chapel and dormitory capacities. The chapel parking is based on the Community Assembly requirement of one space for four seats plus one space per 28 square feet of assembly area without fixed seats. Based on the proposed design, the required chapel parking would be 313 stalls. The campus currently provides beds for 706 students. The proposed expansion includes 200 additional beds for an overall total of 906 students. Based on the City requirement of 0.75 parking stalls per bed, a total of 680 stalls would be required for the dormitories. Therefore, the campus-wide parking requirement at master plan buildout would be 993 (313 + 680). The master plan would provide 1,254 parking stalls, or 261 more than are required. These additional parking spaces would be used for faculty, visitors, and part-time students. **Table 2.0-2, Master Plan Parking Summary**, provides a summary of existing and proposed parking within the master plan area.

**Table 2.0-2  
Master Plan Parking Summary**

Land Use	Stalls
Chapel	313
Dormitory Beds	680
<b>Total Required</b>	<b>993</b>
Current Supply	997
Net Additions	257
<b>Total Proposed</b>	<b>1,254</b>
<b>Surplus Parking Stalls</b>	<b>261</b>

*Source: Master's College Master Plan, June 2008.*

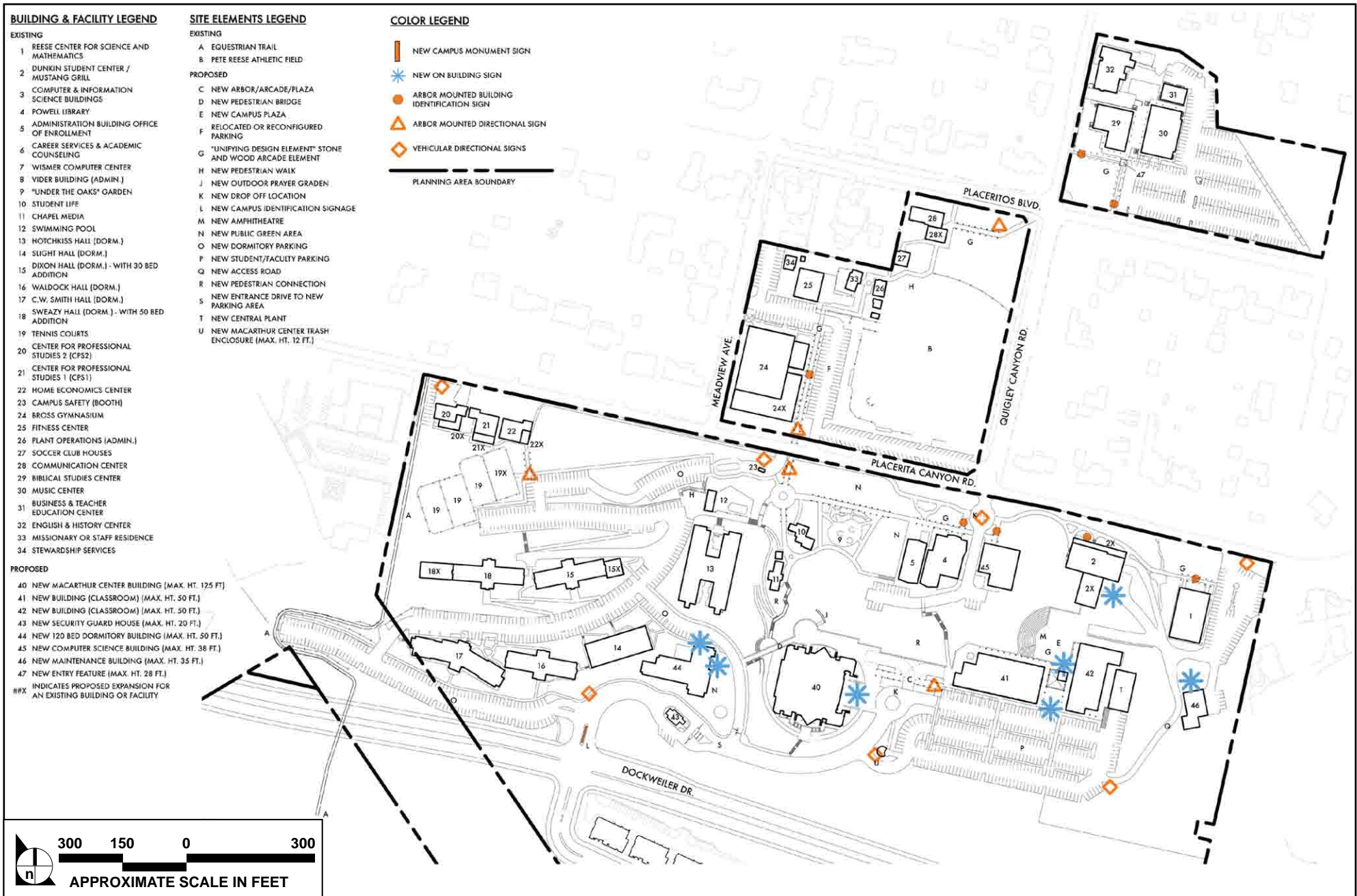
The majority of the existing 997 parking stalls would remain under the proposed master plan, the most significant exception being the removal of 48 spaces within the parking lot along Placerita Canyon Road, which would be removed and replaced with landscaping to aid in the creation of a new campus center.

### **Open Space and Landscaping**

The primary goal of the open space and landscaping plan within the proposed master plan is to maintain the rural character of Placerita Canyon as defined in the Special Standards District. Other goals include screening as necessary for residential neighbors and using a primarily native plant palette. Refer to **Figure 2.0-12, Campus Landscape and Open Space Strategy**, for a depiction of this portion of the master plan.

As stated above, an existing parking lot on Placerita Canyon Road would be removed and replaced with landscaping and would serve as an entry to the oak garden leading to the proposed MacArthur Chapel. Other proposed open space would act as a buffer between the dormitories and the Hilltop Campus area. Various native tree species, such as oaks, would be added to both new and existing parking areas to provide shade and maintain the rustic character of the canyon and campus design.





SOURCE: The Master's College Master Plan - May 2008

FIGURE 2.0-11

# Campus Wayfinding Strategy



SOURCE: The Master's College Master Plan - May 2008

FIGURE 2.0-12

Campus Landscape and Open Space Strategy

In addition to the proposed Campus Landscape and Open Space Strategy, an oak tree plan is included in the master plan. **Figure 2.0-13, Oak Tree Plan**, illustrates this component of the master plan. The oak tree plan depicted in **Figure 2.0-13a** is a portion of the oak tree mitigation plan proposed for the entire project site. The oak tree mitigation plan proposed for the entire project site is shown in **Figure 2.0-13b, Oak Tree Mitigation Plan**. Potentially significant impacts to oak trees are evaluated in **Section 5.3, Biological Resources**, of this EIR. In total, there are 388 oak trees located on site, including 35 heritage oak trees (any oak tree measuring 108 inches or more in circumference or, in the case of a multiple trunk tree, two or more trunks measuring 72 inches each or greater in circumference, measured at 4.5 feet above the natural grade). The project proposes to remove 79 healthy oak trees (none of which are heritage oaks), encroach into the dripline of 75 healthy oak trees, and encroach into the 5-foot protected zone of 22 healthy oaks. Six of the oak trees surveyed on site have died following the 2005 rainstorms and natural causes. The applicant developed an oak tree mitigation plan in collaboration with the City of Santa Clarita Oak Tree Specialist and Craig Crotty of Arbor Culture. The oak tree mitigation plan proposes to mitigate the impacts to oak trees by planting 744 oak trees on site as illustrated in **Figure 2.0-13b**. The oak tree mitigation plan includes the replacement rather than the relocation of oak trees on the site according to the recommendations provided in the February 2007 addendum to the 2005 oak tree report. The proposed locations, oak tree species, and oak tree size were developed based on site-specific characteristics. As the proposed oak tree mitigation plan was developed specifically for the project site by licensed arborists, the proposed plan is expected to be highly effective. Further, the master plan requires an Oak Tree Permit that would adhere to all Santa Clarita oak tree preservation policies.

### **Grading**

Master plan implementation would require fill to level areas to create building pads for proposed on-campus development. Please see **Section 5.4, Geology and Soils**, for a detailed discussion of potential grading impacts and **Section 5.1, Visual Resources**, for a detailed discussion of potential aesthetic impacts associated with grading activities. Grading will occur on the ridgeline for the installation of Dockweiler Drive, the new entry, several campus buildings, and residential units.

### **Utilities**

As the project site and surrounding areas are generally built out, utilities and infrastructure are already in place. Currently, Placerita Canyon is transitioning from septic systems to a new public sanitary sewer system. The Master's College has connected most of the existing campus buildings to the sewer system with the exception of the North Campus and seven buildings fronting Placerita Canyon Road that are more than 200 feet from the sewer trunk line. Existing buildings that did not connect to the new public

sanitary sewer system will remain on septic systems. All new buildings proposed within the master plan would be required to connect to the sewer system when constructed.

Newhall County Water District (NCWD), as part of the Castaic Lake Water District, currently supplies water to the canyon from an elevated storage tank. New buildings would be connected to and served by the existing on-site water distribution system. The Master's College campus is served through a system comprised of 12-inch water mains located in Placerita Canyon Road and Quigley Canyon Road. On-site 4-inch to 10-inch lateral and looped line systems within the college property provide for pressurized water service and required fire protection to each building on the existing campus. NCWD has three existing water pipelines within easements on the easterly edge of The Master's College property; the pipelines provide water to the existing reservoirs near Deputy Jake Drive as well as local service to the Placerita Canyon area beyond the college campus. Although the existing water system is a pressure system, it relies on gravity from the elevated tank to produce water pressure. Buildings proposed at higher elevations would have less pressure and may require booster pumps.

Due to the rural character of the area, storm water is conveyed through the creeks, streambeds, and rural roads through the canyon instead of the gutters, storm drains, or catch basins that typify more urbanized areas. The proposed stormwater drainage system would consist of a series of conveyance lines throughout the project site, two swales in the eastern portion of The Master's College campus and one swale south of the 54 condominium unit development, two detention basins within the western portion of The Master's College campus and one detention basin adjacent to Newhall Creek within the western portion of the project site. **Figure 2.0-14, Proposed Stormwater Conveyance System**, shows the components of the proposed system throughout the project site.

### *Economic Characteristics*

It is the intent of the project applicant to provide for an expansion to The Master's College campus including new buildings, a clear primary access point, and a student and faculty population cap. The proposed master plan includes 200 dormitory beds and a total enrollment increase of 600 students, including 500 full-time and 100 part-time students. It is expected that some increase in services (food, supplies, entertainment) would be required for the increase in students and staff that would support existing businesses in the community—notably the Newhall community, which is currently in a transformation with implementation of the Downtown Newhall Specific Plan.





SOURCE: The Master's College Master Plan - May 2008

FIGURE 2.0-13a

Oak Tree Plan for the Masters College Campus



**COLOR LEGEND**

- EXISTING OAK TREES
- EXISTING TREES
- NEW OAK TREES
- NEW TREES\*
- NEW CAMPUS GREEN AREA

--- PLANNING AREA BOUNDARY

\*LANDSCAPE PLAN REVIEW ON PROJECT BY PROJECT OR PHASING BASIS

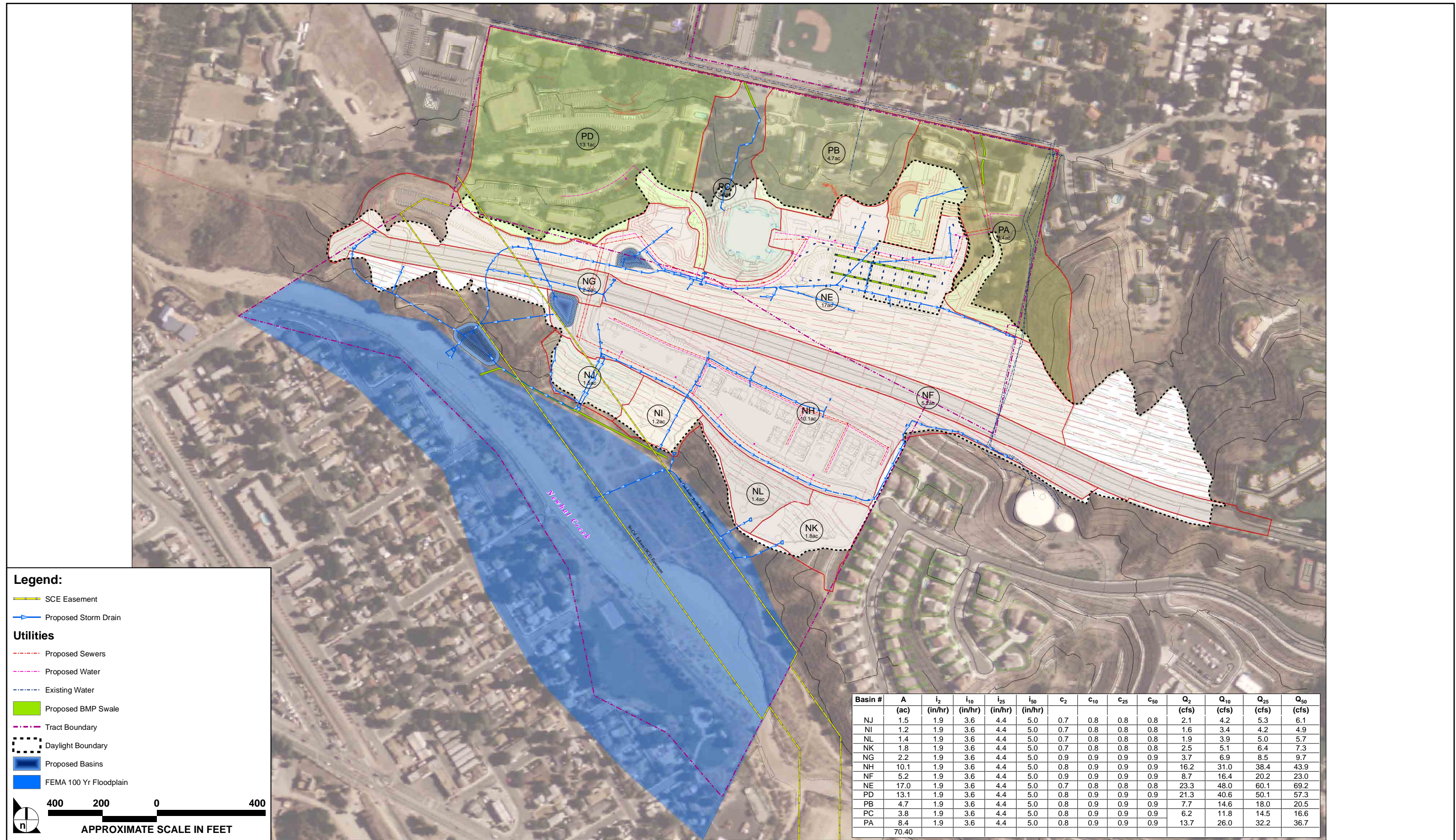
NOT TO SCALE

SOURCE: Development Planning Services, Inc. - June 2008

FIGURE 2.0-13b

Oak Tree Mitigation Plan





SOURCE: PACE - May 2007

FIGURE 2.0-14

Proposed Stormwater Conveyance System



The City of Santa Clarita and Los Angeles County would provide public services to the project site. This would be accomplished primarily by Los Angeles County services, including, but not limited to, police and fire service, flood control, library service, and wastewater service. The project residents would generate revenue in the form of property taxes and fees, etc., which would be available to the City to fund public services to the site. Revenues for capital improvements would also be generated by the project directly through various forms of development fees, including, but not limited to, fire facilities fees, wastewater connection fees, library fees, water connection fees, bridge and thoroughfare fees, and school fees.

### ***Environmental Characteristics***

Environmental characteristics associated with the master plan are discussed in detail in **Section 3.0, Environmental and Regulatory Setting**, and **Section 5.0, Environmental Impact Analysis**.

### ***Implementation and Phasing***

The proposed master plan provides a blueprint for campus growth over the next 10 years. The immediate priority for the college is the construction of the MacArthur Chapel. The prerequisite for chapel construction is the extension of Dockweiler Drive to the new campus entry and the associated grading and utility extensions. Although it is not possible for The Master's College to predict the exact timing of construction, the following phasing schedule is anticipated. **Figures 2.0-15, Master Plan Implementation – Phase 1**, and **Figure 2.0-16, Master Plan Implementation – Phase 2**, depict the master plan components associated with the phases described below.

#### **Phase 1 – March 2009 through January 2011:**

- Extension of Dockweiler Drive and Deputy Jake Drive
- Removal of oak trees to be transplanted
- Overall site bulk grading within and outside of Master's College property
- Preparation of building pad (ready for fine grading only and proposed campus improvements within Hilltop Campus)
- Extension of required building and site utilities
- Preparation of the building pad for residential lots south of Dockweiler Drive extension
- Construction of Deputy Jake Drive with all associated utilities
- Installation of irrigation, drainage, and landscaping



**Phase 2 – January 2011 through January 2015:**

- Chapel construction
- Parking and driveway construction
- Site utilities (from street to each pad)
- Pedestrian bridge
- Trellis and walkways at chapel
- Paving to Valley Campus
- Hydro-seed future building pads

**Phase 3 – January 2015 through January 2019:**

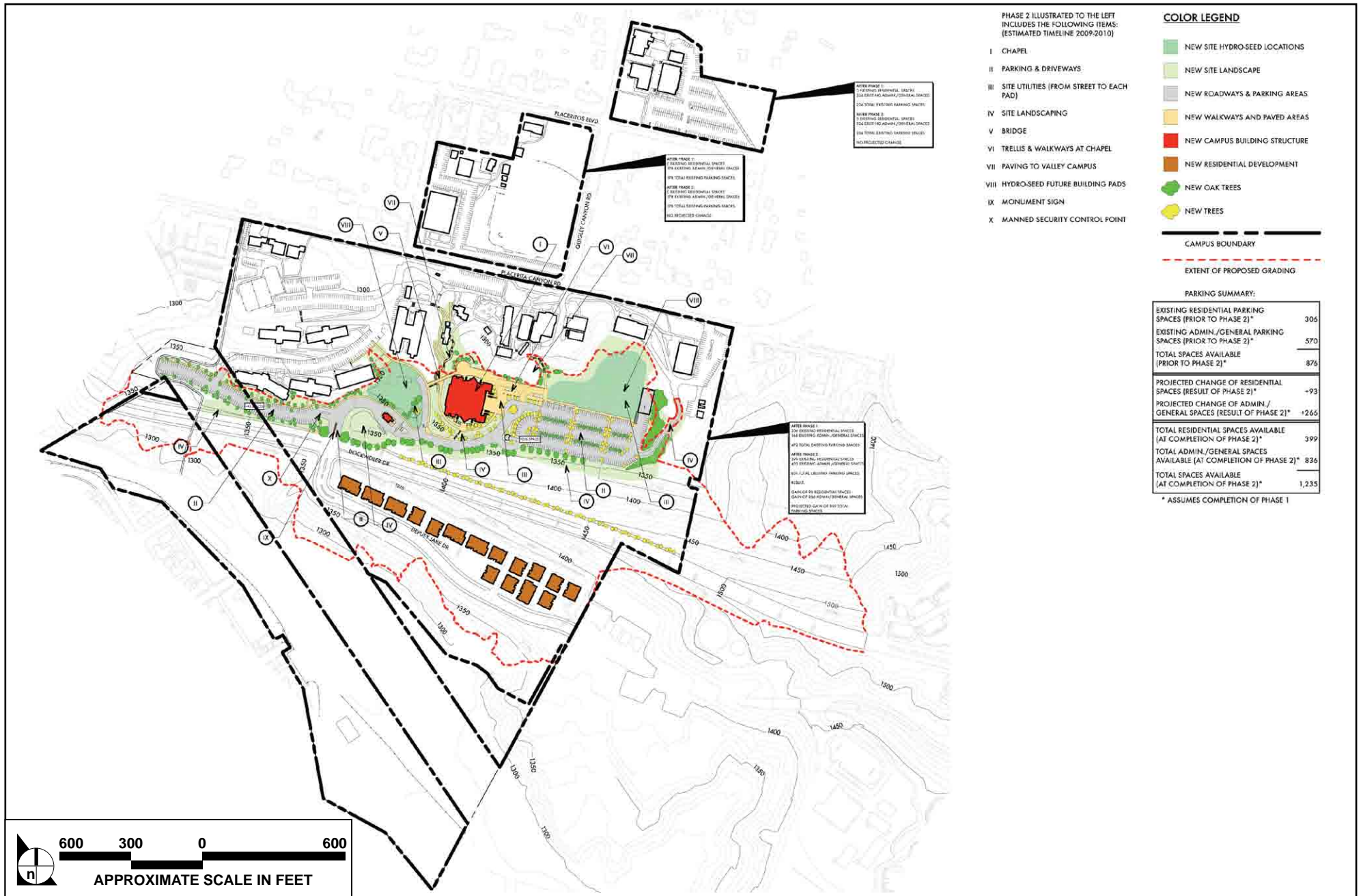
- Dunkin Student Center expansion/Mustang Grill
- Demolition of Computer and Information Science building, Career Services building, Wismer Computer Center, Vider building
- Under the Oaks garden expansion
- Sweazy Hall expansion
- Tennis court expansion
- Center for Professional Studies 1 and 2 expansion
- Home Economics Center expansion
- Bross Gymnasium expansion
- Communication Center expansion
- Expansion to classroom buildings 41 and 42
- Construction of 120-bed dormitory
- Computer Science building
- Maintenance building
- Entry tower
- Amphitheatre
- Parking and driveway construction
- Campus plaza areas



SOURCE: The Master's College Master Plan - May 2008

FIGURE 2.0-15

## Master Plan Implementation - Phase 1



SOURCE: The Master's College Master Plan - May 2008

FIGURE 2.0-16

## Master Plan Implementation - Phase 2

## Dockweiler Drive and Deputy Jake Drive Extensions

### *Technical Characteristics*

The project includes the extension of Dockweiler Drive from the existing western terminus to the east of The Master's College campus to the western boundary of The Master's College property. A proposed amendment to the Circulation Element of the general plan would reclassify Dockweiler Drive as a four-lane Secondary Highway. The Circulation Element includes the extension of Dockweiler Drive from its existing terminus to Lyons Avenue and designates the connected roadway as a six-lane major highway. According to the Circulation Element, a six-lane major highway is designed to carry more than 50,000 average daily trips (ADT). However, the traffic volume expected on Dockweiler Drive would range from 25,000 to 35,000 ADT and the Secondary Highway designation is consistent with such a volume. The proposed North Newhall Specific Plan includes the extension and connection of Dockweiler Drive to allow for traffic flow from Sierra Highway to I-5. However, the precise location within the proposed North Newhall Specific Plan where Dockweiler Drive would be connected is still being determined. Options under consideration by the City include connecting Dockweiler Drive at Lyons Avenue or 13<sup>th</sup> Street and both of these options could also include an additional north/south trending connection to Via Princessa. The proposed Dockweiler Drive extension would have a maximum gradient of 7.6 percent rather than the City standard maximum of 7 percent. Proposed mitigation for the increased gradient includes prohibiting driveways on the portion reaching the 7.6 percent maximum and providing a lesser gradient for deceleration purposes at the campus main entrance. The proposed 92-foot right-of-way would include four travel lanes, two bike lanes, sidewalks, parkways, and a graded landscaped median consistent with City's standard street cross sections. Deputy Jake Drive was developed as part of Tract Map 53114, approved in 2001. Deputy Jake Drive begins at Valle Del Oro and terminates in a cul-de-sac at The Master's College property. Deputy Jake Drive is the main access for McGrath Elementary School, also created as part of Tract Map 53114. Deputy Jake Drive is classified as a 64-foot right-of-way residential street. The entry has a landscaped median for access to school and serves as an entry point for the residential development.

### **Grading**

Grading associated with all project components would require the movement of approximately 1.2 million cubic yards of earth. The majority of this earth movement, 1.2 million cubic yards, would be required to complete the extension of Dockweiler and Deputy Jake Drives. Grading would occur on the non-linear, but roughly east/west trending ridgeline that runs through the project site for the installation of Dockweiler and Deputy Jake Drives. Please see **Section 5.4, Geology and Soils**, for a detailed discussion of potential grading impacts and **Section 5.1, Visual Resources**, for a detailed discussion of



potential aesthetic impacts associated with grading activities. The project would include several keystone walls. The keystone wall system is an engineered system comprised of concrete segmental block units, compacted backfill, geogrid reinforcement material and interlocking fiberglass pins connecting the wall unit and the soil reinforcement. A description of each of the proposed keystone walls is provided below under the description of TTM 66503.

The Preliminary Grading Plan illustrates an encroachment into the MWD property. The proposed encroachment includes construction of a 25-foot-high, 2:1 (h:v) fill slope that will overlie existing fill present in the MWD easement.

### *Economic Characteristics*

There are no direct economic characteristics associated with the Dockweiler Drive and Deputy Jake Drive extensions. These extensions would indirectly facilitate housing and the implementation of the Circulation Element.

### *Environmental Characteristics*

Environmental characteristics associated with the extension of Dockweiler and Deputy Jake Drives are discussed in detail in **Section 3.0, Environmental and Regulatory Setting**, and **Section 5.0, Environmental Impact Analysis**.

### *Implementation and Phasing*

As one of the immediate priorities for the college, the Dockweiler Drive extension would be constructed in the first phase of the master plan. Within the first two years of implementation, both Dockweiler Drive and Deputy Jake Drive would be extended to intersect and create the new entrance to the college.

## **Tentative Tract Map 66503**

### *Technical Characteristics*

**Figure 2.0-17, Tentative Tract Map 66503**, depicts the location of the proposed lot lines. The TTM includes the subdivision of 81.55 acres to create 17 residential lots, 2 HOA lots, 5 college lots, 2 public roadways, 1 water quality basin lot, and 3 open space lots. TTM 66503 would allow for the creation of 54 attached condominium residential units for future development, lots dedicated for open space purposes, and portions of the Dockweiler and Deputy Jake Drive extensions. A 12.6-acre swath of land owned by the MWD bisects the area included in TTM 66503. According to TTM 66503 dated June 17, 2008, portions of the campus south of Placerita Canyon Road and north of the proposed Dockweiler



SOURCE: Development Planning Services, Inc. - June 2008

FIGURE 2.0-17

Tentative Tract Map 66503

Drive extension would be subdivided into Lots 1 through 5. The area north of the MWD swath and south of the Dockweiler Drive extension would be divided into Lots 7 through 11. A 0.25-acre detention basin would be located within Lot 7. The proposed condominium residential units would be located within Lot 9. Lots 8 and 10 are located to the north and south of Lot 9, respectively, and would include manufactured slopes. Lot 11 would also include a manufactured slope. Lots 6 and 12 would be located south of the MWD swath. Lot 6 is a 0.17-acre area and lot 12 applies to Creekside Park and Newhall Creek. Lots 6, 7, 11, and both public roadways would be dedicated to the City of Santa Clarita. Lots 8 through 10 will be prepared and graded as part of this application but the construction of the condominium units on Lot 9 will occur in the future. Lots 8 through 10 would be sold to a home development company and subsequent development plans will be reviewed by the Planning Division to ensure consistency with approvals and architectural compatibility with the surrounding neighborhood. The proposed condominium development would consist of 16 groups of three- and four-unit townhome clusters that would range between two and three stories, with a building height not to exceed 33 feet. The proposed condominium units would be required to adhere to the UDC multi-family standards related to setbacks, parking, open space, storage space, and landscaping. A HOA responsible for maintaining the property would be run by the residents of the new condominium community. The soil moved during site preparation would be used for the development of the proposed main campus entrance on Dockweiler Drive, and installation of the portion of Dockweiler Drive for which the applicant is responsible.

Two water tanks, 0.75- and 3.0-million gallons in capacity, are currently located east of The Master's College property near the existing terminus of Dockweiler Drive. As part of the project, the NCWD is requiring a 5.0-million-gallon water tank in place of the existing 0.75-million-gallon tank. Removal of the 0.75-million-gallon tank, grading of the pad followed by installation of a 5.0-million-gallon tank is proposed. Associated improvements, including pipeline extensions and pump station upgrades are also proposed. The Master's College would remove the existing 0.75-million-gallon water tank and grade the pad for future installation of the 5.0-million-gallon tank. The NCWD would install and maintain the proposed 5.0-million-gallon water tank and all associated infrastructure when needed as determined by the NCWD. The 5.0-million-gallon tank would be 32 feet in height and 132 feet in diameter.

Several keystone walls are proposed and shown on TTM 66503 to accommodate proposed grade breaks. These keystone walls are shown in **Figure 2.0-17** and described below.

- On The Master's College campus one keystone wall adjacent to the proposed campus entrance on the Dockweiler Drive extension would be approximately 250 feet in length and range in height from 1 foot to 14 feet. This keystone wall would exceed 10 feet in height for approximately 80 linear feet. The purpose of this keystone wall is to accommodate the finished grade differences between the future campus entry road to the north and future Dockweiler Drive to the south.

- A keystone wall section is proposed near the western boundary of the project site to avoid grading interference with the existing MWD Foothill Feeder Placerita Tunnel and Newhall Siphon pipeline within the 12.6-acre MWD property. The finished grade differences are a result of the tunnel access location elevation and the minimum elevations of both future Dockweiler Drive and Deputy Jake Drive. MWD has determined that this grading and keystone wall configuration is acceptable for their purposes. This wall segment would include three stepped walls ranging in length from approximately 200 feet to 300 feet, for a total of 750 linear feet. The keystone walls range in height from 1 foot to 20 feet. The keystone walls exceed 10 feet in height for approximately 460 total linear feet.
- A keystone wall section is proposed near the center of the project site south of the Deputy Jake extension to preserve multiple oak trees, including two designated Heritage Oaks Trees, which would otherwise be removed and fill grading slopes placed over the current locations. This keystone wall section accommodates the finished grade differences between the existing Heritage and other oak trees to the south and the required location and elevation of future Deputy Jake Drive to the north. This wall segment includes three stepped walls ranging in length from approximately 100 feet to 230 feet, for a total of 540 linear feet. The keystone walls range in height from 1 foot to 20 feet. The keystone walls exceed 5 feet in height for approximately 60 total linear feet.
- A keystone wall section is proposed near the eastern boundary of the project site to preserve multiple oak trees which would otherwise be removed and fill grading slopes placed over the current locations. This keystone wall section also accommodates the finished grade differences between the existing oak trees to the south and the required location and elevation of future Deputy Jake Drive to the north. This wall segment includes three stepped walls ranging in length from approximately 130 feet to 290 feet, for a total of 660 linear feet. The keystone walls range in height from 1 foot to 20 feet. The keystone walls exceed 10 feet in height for approximately 180 total linear feet, with approximately 330 total linear feet of wall being 5 feet or less in height.
- The NCWD has existing and proposed water reservoir facilities in the southeastern portion of the project. Located southerly of future Dockweiler Drive and northerly of existing Deputy Jake Drive, there are two separate proposed keystone walls that are necessary because of the elevation differences between the NCWD water reservoir and the roadway elevation of future Dockweiler Drive. There are no design alternatives that would reduce the need for walls and eliminate the conflict between the existing NCWD reservoir and the design/safety criteria for future Dockweiler Drive. The upper wall segment would be approximately 750 feet in length. The keystone walls range in height from 1 foot to 27 feet. The keystone walls exceed 10 feet in height for approximately 260 total linear feet. The lower wall segment is located downhill of the easterly end of the upper keystone wall and is approximately 300 feet in length. The lower keystone wall ranges in height from 1 foot to 9 feet. The lower keystone wall is approximately nine feet in height for 240 total linear feet. Offsite views of the keystone walls will be partially blocked by the existing and proposed NCWD reservoirs for approximately 300 linear feet of the total 750 feet of length.



### *Economic Characteristics*

Using the January 2006 Department of Finance figure for average household size within the City, the 54 condominium units proposed for future construction would house 167 persons.

The City of Santa Clarita and Los Angeles County would provide public services to the project site. This would be accomplished primarily by Los Angeles County services, including, but not limited to, police and fire service, flood control, library service, and wastewater service. The project residents would generate revenue in the form of property taxes and fees, etc., which would be available to the City to fund public services to the site. Revenues for capital improvements would also be generated by the project directly through various forms of development fees, including, but not limited to, fire facilities fees, wastewater connection fees, library fees, water connection fees, bridge and thoroughfare fees, and school fees.

### *Environmental Characteristics*

Environmental characteristics associated with the buildout of uses proposed in TTM 66503 are discussed in detail in **Section 3.0, Environmental and Regulatory Setting**, and **Section 5.0, Environmental Impact Analysis**.

### *Implementation and Phasing*

Grading and preparation of the residential building pads for the proposed 54 units would occur in the first phase of project implementation. However, the lots would be sold to a home development company who would construct the residential community in the future.

## **Creekview Park and Adjacent Open Space Dedication**

### *Technical Characteristics*

The proposed project includes lots dedicated to public park areas and the development of various trails throughout the site. Including the 5-acre Creekview Park, which is currently being leased from The Master's College, approximately 20.5 acres of open space area would be located south of the Deputy Jake Drive extension. The 20.5 acres of open space would be dedicated to the City for future parkland/open space purposes. The open space area would not be developed as a part of this project.

An existing City-approved and accepted equestrian/pedestrian trail exists along the western portion of the site, runs through Newhall Creek and connects to Creekview Park. Following the extension of Dockweiler Drive, the applicant proposes to restore the trail by constructing a 12-foot-tall equestrian

tunnel under Dockweiler Drive to connect to the existing trail. In addition, although a Downtown Newhall Specific Plan bridge across Placerita Creek to the Newhall Community Center and Metrolink station is not a part of this project, the applicant would be required to provide the necessary trail connections to the future bridge to Downtown Newhall. The applicant shall also be required to provide trail connections from Creekview Park to the Community Center and Metrolink Station.

### *Economic Characteristics*

After dedication, the City would maintain Creekview Park and adjacent vacant land.

### *Environmental Characteristics*

Environmental characteristics associated with the dedication of 20.5 acres of open space south of the proposed Deputy Jake extension, including Creekview Park, to the City of Santa Clarita for future parkland/open space purposes is discussed in detail in **Section 3.0, Environmental and Regulatory Setting** and **Section 5.0, Environmental Impact Analysis**.

### *Implementation and Phasing*

Prior to the recordation of the final tract map, Master's College will deed the existing 5-acre Creekview Park property to the City of Santa Clarita. The adjacent open space areas would also be dedicated to the City.